

**Permit #:** 95

**Permit Date:** 08/28/23

**Permit Type:** Planning Commission

**Case Number:** PC 23-36

**PC Meeting Date:** i. 1st Tuesday of October

**BZA Meeting  
Date:**

**Assigned Meeting  
Date:** 10/03/2023

**Special Meeting  
Date:**

**Applicant Is:** Owner

**Applicant Name:** Reid Wakefield

**Applicant  
Address:** 5899 Willshire Dr.

**Applicant City,  
State, ZIP:** Nashville Tn 37215

**Applicant Phone  
Number:** 214-240-0509

**Applicant Email:** reidwakefield@gmail.com

**Description:** 1. Proposed first and second floor addition to rear middle portion of existing house and partial renovation of interior of existing house. The house is nonconforming in regard to Maximum Lot Coverage. Existing lot coverage is 19,145 sf according to owner, while Maximum Lot Coverage allowed for this lot is 17,955 sf. (or 20% of 89,777 lot sf). Building footprint will change due to this addition, but no additional impervious surface will result since addition will replace existing pool deck. 2. Proposed interior renovation of southeast corner of house that is nonconforming in regard to the 50 ft side setback line. That corner of the existing house encroaches approximately 13 ft into the east side setback. Building footprint at this corner will not change, and no additional encroachment is proposed.

**Project Cost:** 0

**Square Feet:** 0

**Lot Area:** 0

**Lot Coverage:** 0

**Heat/cooled area:** 0

**Proposed  
Height(ft.):** 0

**#of stories:** 0

**Lot Depth/Width  
Ratio:**

**Avg. front setback  
of adjacent  
homes:**

**Zoning District:** Zone F

**Radnor Lake**

**Impact Zone:**

**Steep Slope:**

**Plat/Subdivison:****Status:** Open**Assigned To:** Steve Mallory**Property**

Parcel #	Address	Legal Description	Owner Name	Owner Phone	Zoning
14504004900	1108 OVERTON LEA RD	LOT 3 LELAND MANOR SUB RE-SUB LOTS 9 & 10	PRINE, JOHN FAMILY TRUST & FIONA WHELAN FAMILY TRUST		

**Fees**

Fee	Description	Notes	Amount
Residential Presentation Fee			\$250.00
<b>Total</b>			<b>\$250.00</b>

**Payments**

Date	Paid By	Description	Payment Type	Accepted By	Amount
08/28/2023	Reid Wakefield		CK#1607	Steve Mallory	\$250.00
<b>Outstanding Balance</b>					<b>\$0.00</b>

TOTAL AREA = 6.12 ± Acres

W. M. FARRIS & WIFE  
Book 2493, Page 429

OWNER'S CERTIFICATE:  
 I, we hereby certify that I am (we are) the owner(s) of the property shown hereon as evidenced in Book 1334 Page 316, R.D.C., Tennessee, and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot or lots as shown hereon shall be subdivided, resubdivided, altered or changed so as to have less area than hereby established until otherwise approved by the Oak Hill Planning Commission, and under no condition shall such lot or lots be made to produce less area than prescribed by the restrictive covenants, as of record in Page 1333, R.D.C., Tennessee, running with the title to the property.

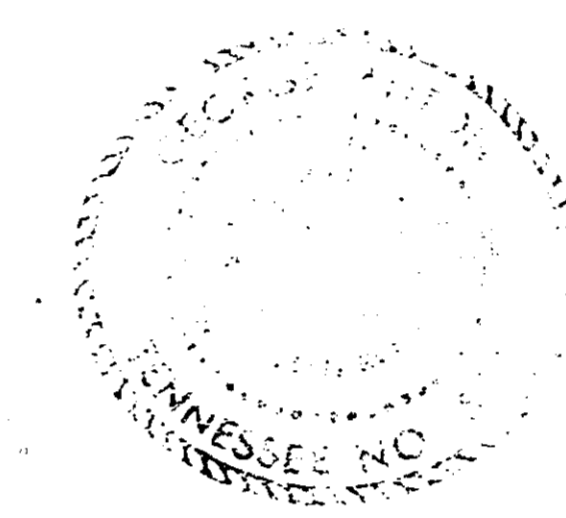
George Williams Date: 6-7-88

COMMISSION'S APPROVAL:  
 Approved by the Oak Hill Planning Commission of Nashville and Davidson County, Tennessee.  
 BY: George Williams Date: 6-7-88

RECORDED:  
 Recorded JUNE 28, 1988 Book 6900 Page 705  
 in the Register's Office of Davidson County, Tennessee.

SUBDIVISION NO. \_\_\_\_\_

ENGINEER'S CERTIFICATE:  
 I hereby certify that the subdivision plat shown hereon is correct and that approved monuments shown thus (●) have been placed as indicated. All side lot lines are at right angles or radial to a street, unless otherwise noted.  
 BY: George Centon Date: April 5, 1988



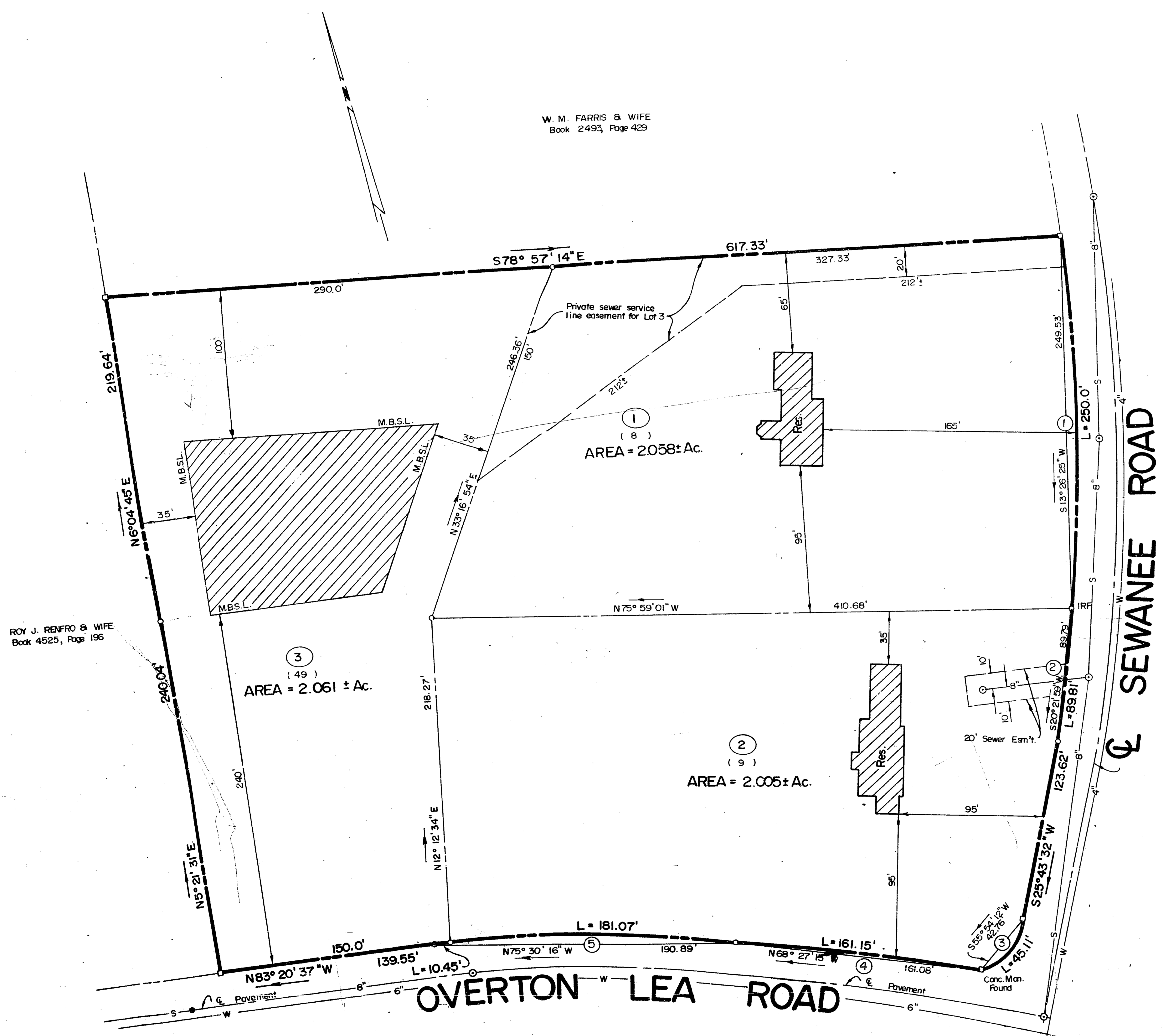
CURVE DATA						
No.	Δ	R	T	L	Ch.	
1	12° 08' 20"	1,180.00	125.47	250.00	249.53	
2	4° 21' 39"	1,180.00	44.93	89.81	89.79	
3	64° 37' 12"	40.00	25.30	45.11	42.76	
4	5° 46' 15"	1,600.00	80.64	161.15	161.08	
5	15° 40' 34"	700.00	96.35	191.52	190.89	

- NOTES:
- Parcel numbers shown thus (00), pertain to property map 145-4.
  - Side yard setback total 70' (35' and 35' or 30' and 40').
  - Rear yard setback: 100' with 2 story house or 70' with single story house.
  - Maintenance of the private sewer service line for Lot 3 will be the responsibility of the owner of Lot 3.

RESUBDIVISION OF LOTS 9 & 10  
**LELAND MANOR SUBDIVISION**  
 (UNRECORDED)  
 for  
**ANNA FINKS & MARY VALENTINO**

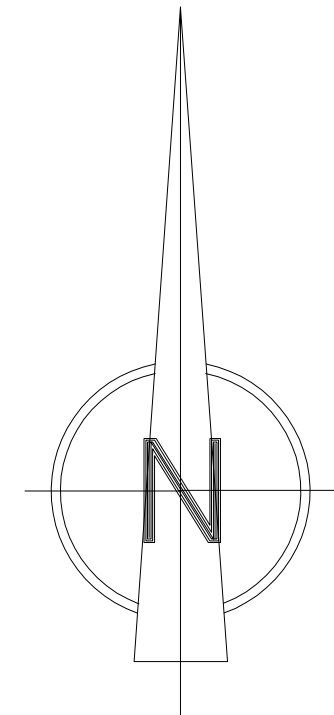
4929 & 4915 SEWANEE ROAD  
 NASHVILLE, DAVIDSON CO., TENNESSEE  
 SCALE: 1"=40' DATE: 5 April 88

**ENGINEERS, INC.**  
 P.O. Box 17421  
 Nashville, TN 37217



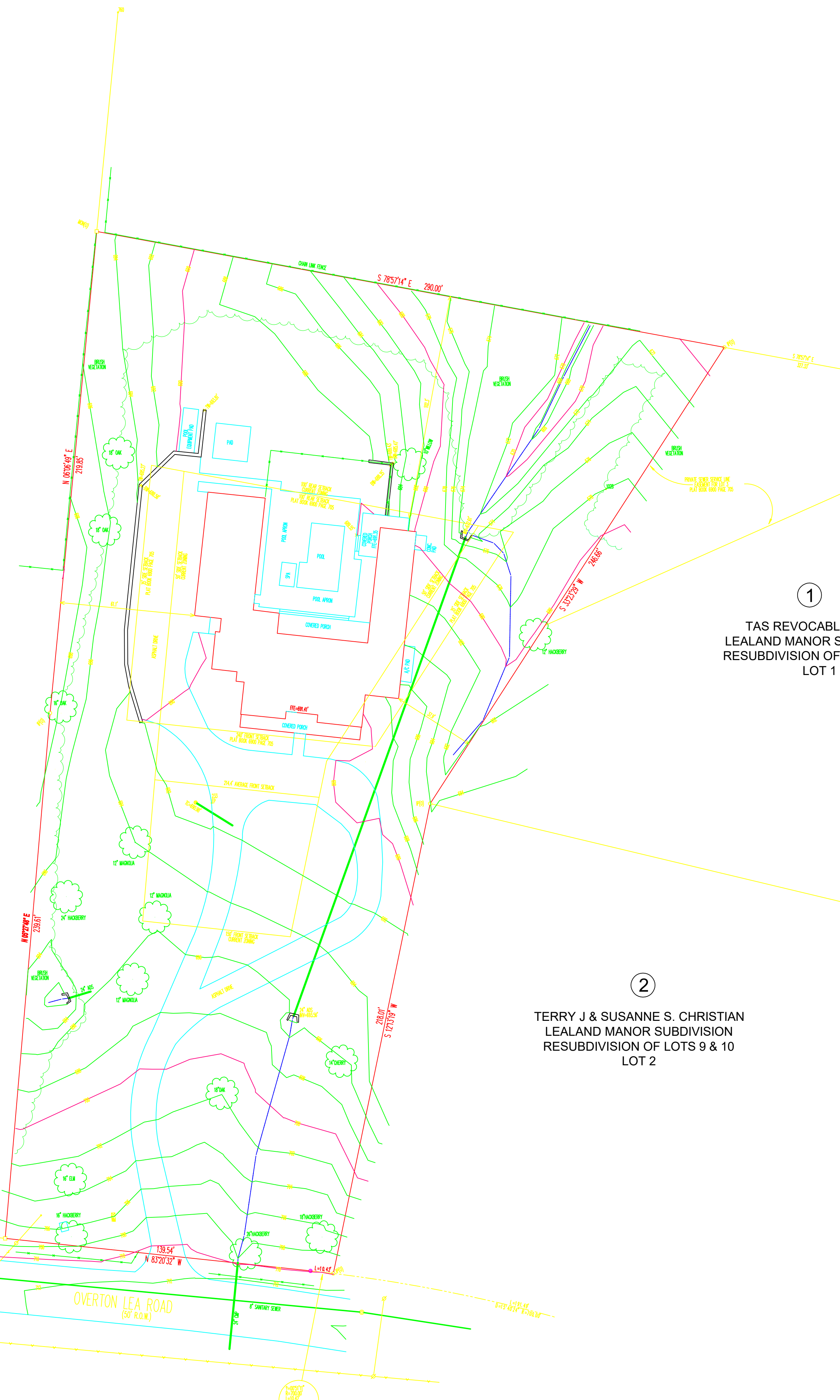
ROY J. RENFRO & WIFE  
 Book 4525, Page 196





0 30 60  
1 INCH = 30 FEET  
SCALE

⑪  
CAROL F. RENFRO  
LEALAND MANOR SUBDIVISION  
LOT 11

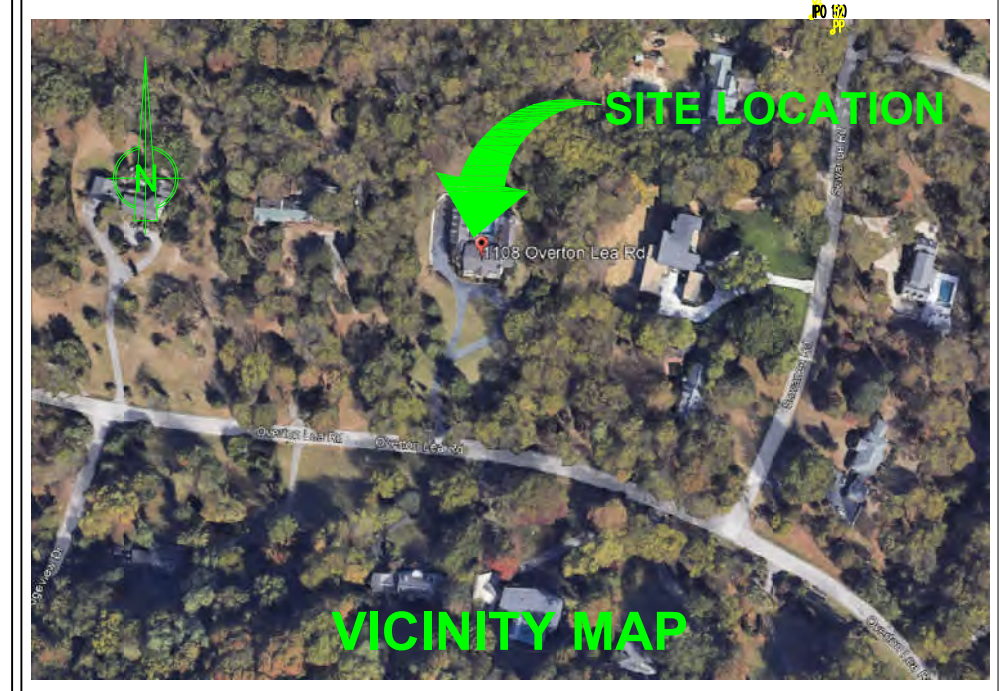


### TREE TABLE

NO.	SIZE	TYPE
1	18"	MAGNOLIA
2	24"	HACKBERRY
3	18"	MAGNOLIA
4	18"	MAGNOLIA
5	12"	TREE
6	18"	TREE
7	18"	TREE

EXISTING SITE INFORMATION:  
ZONING = RESIDENTIAL D  
SETBACKS:  
FRONT = 240', SIDE = 35', REAR = 70'  
MAX. STRUCTURE HEIGHT:  
ZONE 1 = 28', ZONE 2 = 40'  
PROPOSED LOT COVERAGE CHANGES: 0%

MAX LOT COVERAGE:	
ROOFED AREA OF ALL BUILDINGS:	6,144 S.F.
DRIVEWAYS/WALKS:	9,829 S.F.
PATIOS/UNCOVERED PORCHES/DECKS:	163 S.F.
POOL/SPA/POOL DECKS:	2,494 S.F.
RETAINING WALLS/EQUIPMENT PADS:	516 S.F.
TOTAL IMPERVIOUS AREA:	19,145 S.F.
TOTAL LOT AREA	IMPERVIOUS AREA TO LOT RATIO
89,848 S.F.	21.31%



### SITE NOTES:

- ALL CONSTRUCTION SHOWN AND NOT SHOWN SHALL ADHERE TO LOCAL BUILDING CODES AND 2018 INTERNATIONAL BUILDING CODES.
- CONCRETE USED FOR SLABS AND COLUMNS SHALL HAVE A MINIMUM 3500 PSI COMPRESSIVE STRENGTH AT 28 DAY BREAK. PERFORMANCE OF CONCRETE SHALL DEPEND ON SUCH THINGS AS THE QUALITY OF THE CONCRETE, PROPER PLACEMENT OF REINFORCING STEEL AS NOTED ON PLANS, QUALITY OF THE SUBGRADE AND THE METHOD OF PLACEMENT OF THE CONCRETE. IT IS THE RESPONSIBILITY OF THE CONCRETE CONTRACTOR AND OR BUILDER TO VERIFY THAT THESE CONDITIONS ARE PROPERLY VERIFIED. IT IS PREFERRED THAT WELDED WIRE MESH BE PLACED IN ALL CONCRETE SLABS.
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- FINAL GRADING SHALL OCCUR DIRECTLY AFTER INSTALLATION OF FOUNDATION AND RETAINING WALL TO ENSURE PROPER DRAINAGE AND PREVENT ADDED WATER SETTLING ON FOUNDATION POSSIBLY LEADING TO FUTURE SETTLEMENT.
- FINAL GRADING SHALL RECEIVE SOD
- SEE ADDITIONAL NOTES IF APPLICABLE PAGE C6.

### LEGEND:

- PROPERTY LINE
- ELEV MAJOR CONTOUR (EVERY 10')
- ELEV MINOR CONTOUR (EVERY 2')
- PROPERTY SETBACK LINE
- SILT FENCE
- FENCE LINE
- STORM DRAIN LINE
- CPP CORRUGATED PLASTIC PIPE
- XX L.F. MFD MODIFIED FRENCH DRAIN
- OHE OVERHEAD ELECTRICAL LINE
- G GAS METER
- X WATER METER
- ST STORM AREA INLET MANHOLE
- + GRINDER PUMP
- IR IRON ROD (IR)
- X" TREE



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Alliance Engineering & Consulting, LLC



Joshua D. Spradlin, P.E.  
Alliance Engineering & Consulting, LLC  
1718 General George Patton Drive  
Brentwood, TN 37027  
615-801-2179

DATE: 9-19-2023  
PROJECT:

1108 OVERTON LEA DRIVE  
CIVIL SITE PLAN

LOCATION:  
1108 OVERTON LEA DRIVE,  
DAVIDSON COUNTY,  
NASHVILLE, TN

OWNER:  
REID SAMUEL  
WAKEFIELD

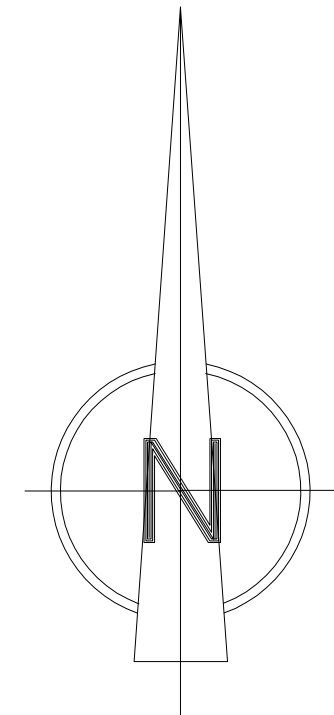
SHEET CONTENT:  
EXISTING BOUNDARY AND  
TOPOGRAPHIC SURVEY

REV. NO.	DATE	REVIEWED BY:	DATE	CAD BY:	REV. NO.
0	6/28/23	JDS	6/28/23	LEL	0
1	6/29/23		6/29/23	LEL	1
2					2
3					3
4					4

REMARKS:  
These building plans are available to purchasers for the sole purpose of providing a general understanding of the specifications for the type of model selected. Field conditions, availability of materials, and many other factors will impact the final product. These plans are not FINAL: the developer reserves the right to modify these plans, including without limitation changes to the specifications and materials, without notice or obligation.

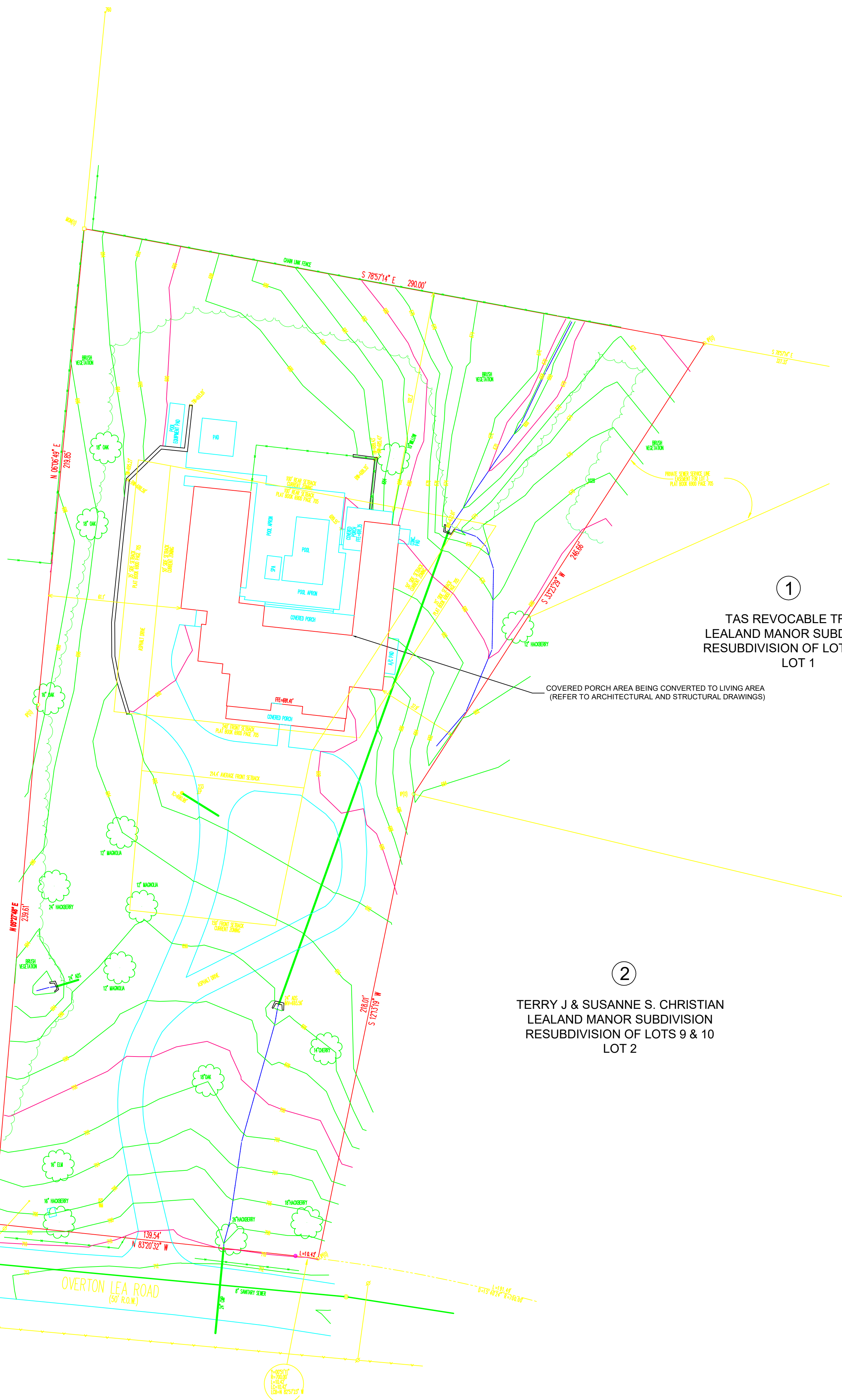
SHEET CONTENT:  
**C1**  
1" : 30'





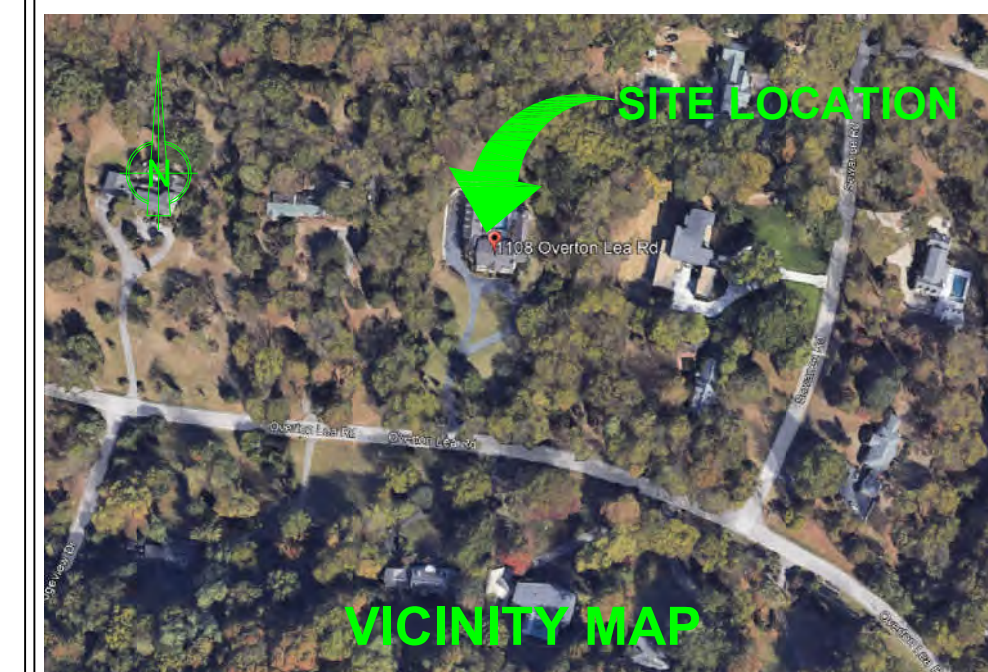
0 30 60  
1 INCH = 30 FEET  
SCALE

11  
CAROL F. RENFRO  
LEALAND MANOR SUBDIVISION  
LOT 11



1  
TAS REVOCABLE TRUST  
LEALAND MANOR SUBDIVISION  
RESUBDIVISION OF LOTS 9 & 10  
LOT 1

2  
TERRY J & SUSANNE S. CHRISTIAN  
LEALAND MANOR SUBDIVISION  
RESUBDIVISION OF LOTS 9 & 10  
LOT 2



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- XX L.F. MFD MODIFIED FRENCH DRAIN
- OHE OVERHEAD ELECTRICAL LINE
- GAS METER
- WATER METER
- STORM AREA INLET MANHOLE
- GRINDER PUMP
- IRON ROD (IR)
- X" TREE



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1718 General George Patton Drive  
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615-801-2179

DATE: 9-19-2023

PROJECT:

1108 OVERTON LEA DRIVE  
CIVIL SITE PLAN

LOCATION:

1108 OVERTON LEA DRIVE,  
DAVIDSON COUNTY,  
NASHVILLE, TN

OWNER:

REID SAMUEL  
WAKEFIELD

SHEET CONTENT:

EXISTING SITE PLAN WITH  
PROPOSED ADDITIONS

REV. NO.	DATE	REVIEWED BY:	CAD BY:
0	6/28/23	JDS	LEL
1	6/29/23		LEL
2			
3			
4			

REMARKS:

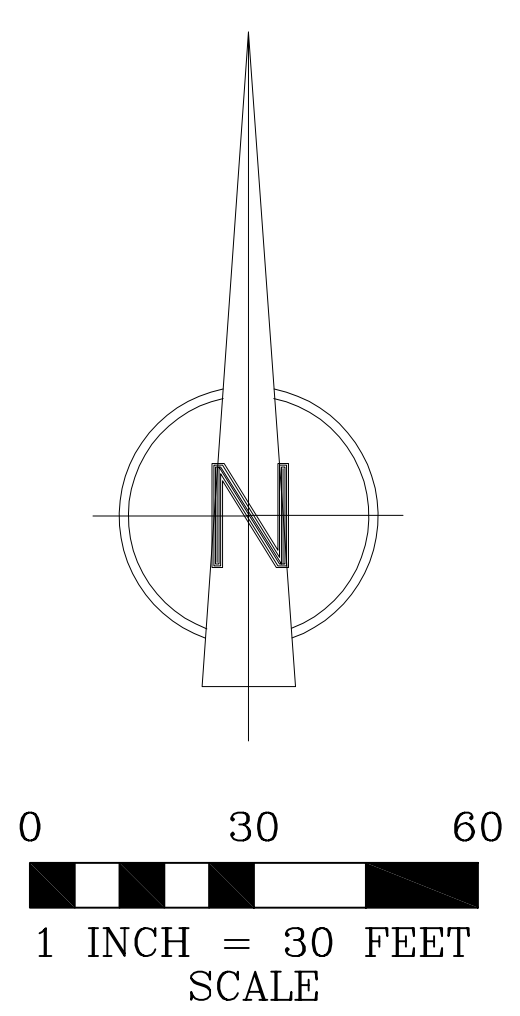
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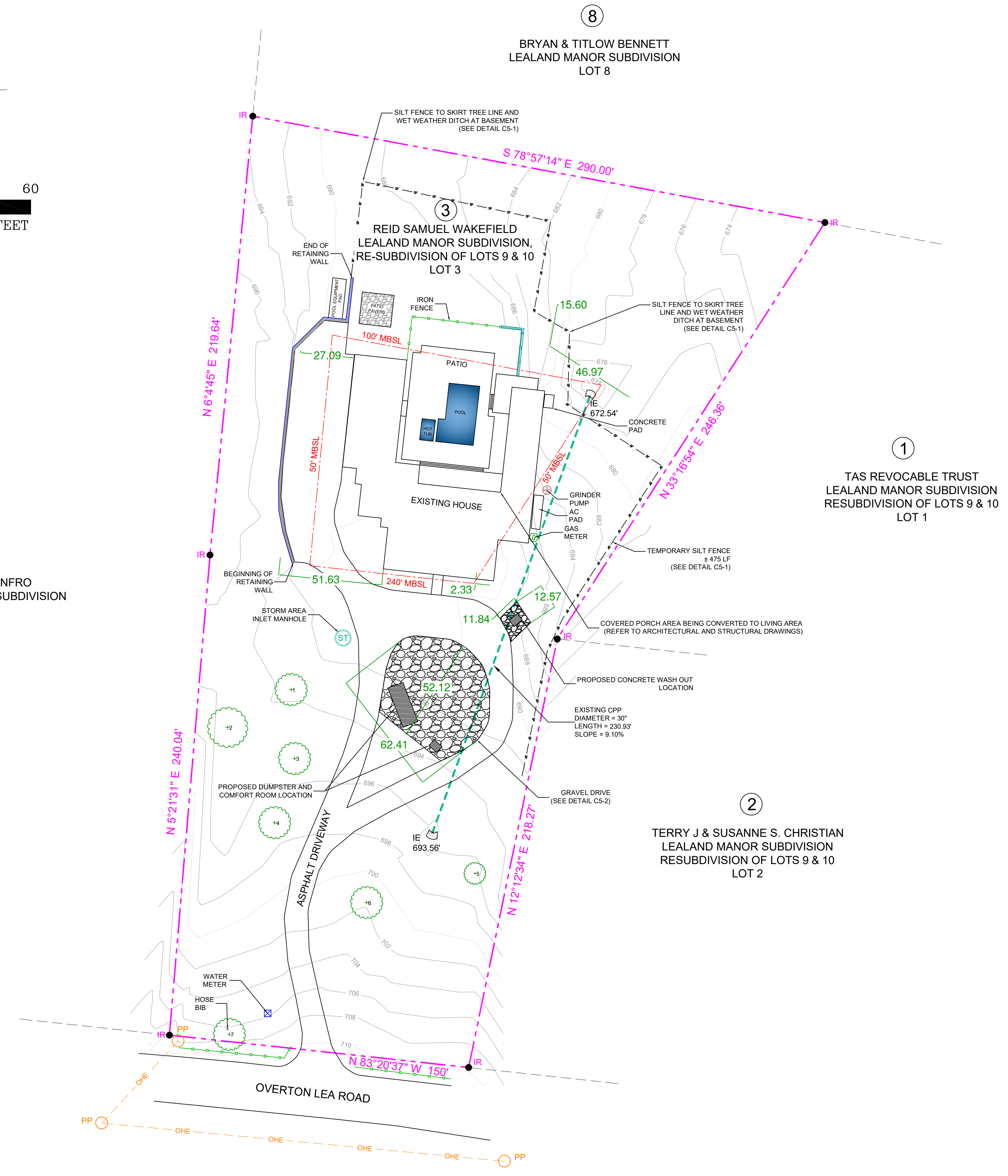
C2

1" : 30'





11  
CAROL F. RENFRO  
LEALAND MANOR SUBDIVISION  
LOT 11



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LOCATION:  
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DAVIDSON COUNTY,  
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WAKEFIELD

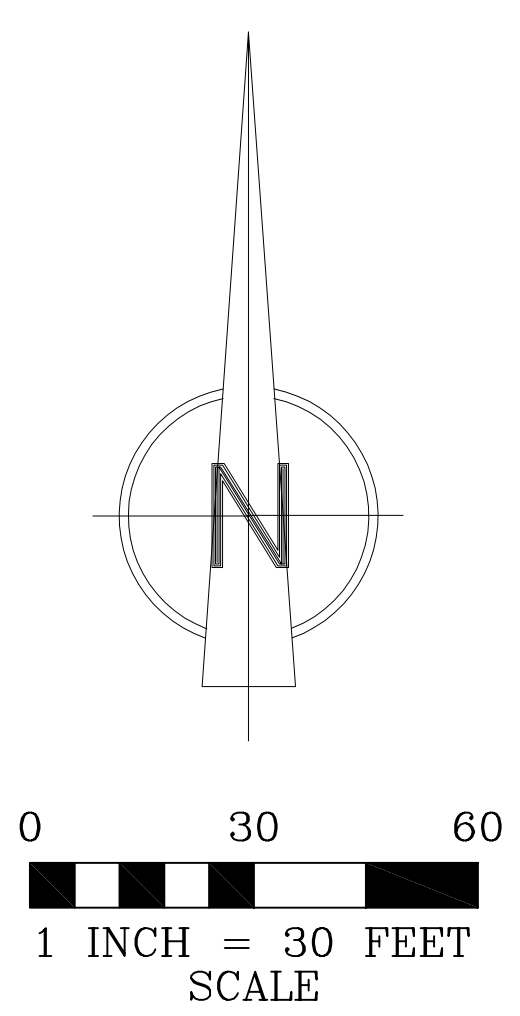
SHEET CONTENT:  
EROSION CONTROL AND  
CONSTRUCTION PLAN

REV. NO.	DATE	REVIEWED BY:	DATE	CAD BY:	REV. NO.
0	6/28/23	JDS	6/29/23	LEL	0
1	6/29/23			LEL	1
2					2
3					3
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SHEET CONTENT:  
**C3**  
1" : 30'





**EXISTING SITE INFORMATION:**

ZONING = RESIDENTIAL F

**SETBACKS:**

FRONT = 240', SIDE = 50', REAR = 100'

**MAX. STRUCTURE HEIGHT:**

42'

**PROPOSED LOT COVERAGE CHANGES**

0%

**EXISTING LOT COVERAGE:**

ZONING:	RESIDENTIAL F
TOTAL SITE AREA:	89,848 S.F.
DRIVEWAYS/WALKS (INCLUDES DRIVE-APRONS BEYOND PL):	9,829 S.F.
PATIOS/UNCOVERED PORCHES/DECKS:	163 S.F.
POOL/SPA/POOL DECKS:	2,494 S.F.
RET. WALLS/MISC HARDSCAPE/EQUIP. PADS/OTHER IA:	516 S.F.
ROOFED AREA OF ALL BUILDINGS:	6,144 S.F.
TOTAL EXISTING IMPERVIOUS AREA:	19,145 S.F.

**MAXIMUM LOT COVERAGE:**

**PROPOSED LOT COVERAGE:**

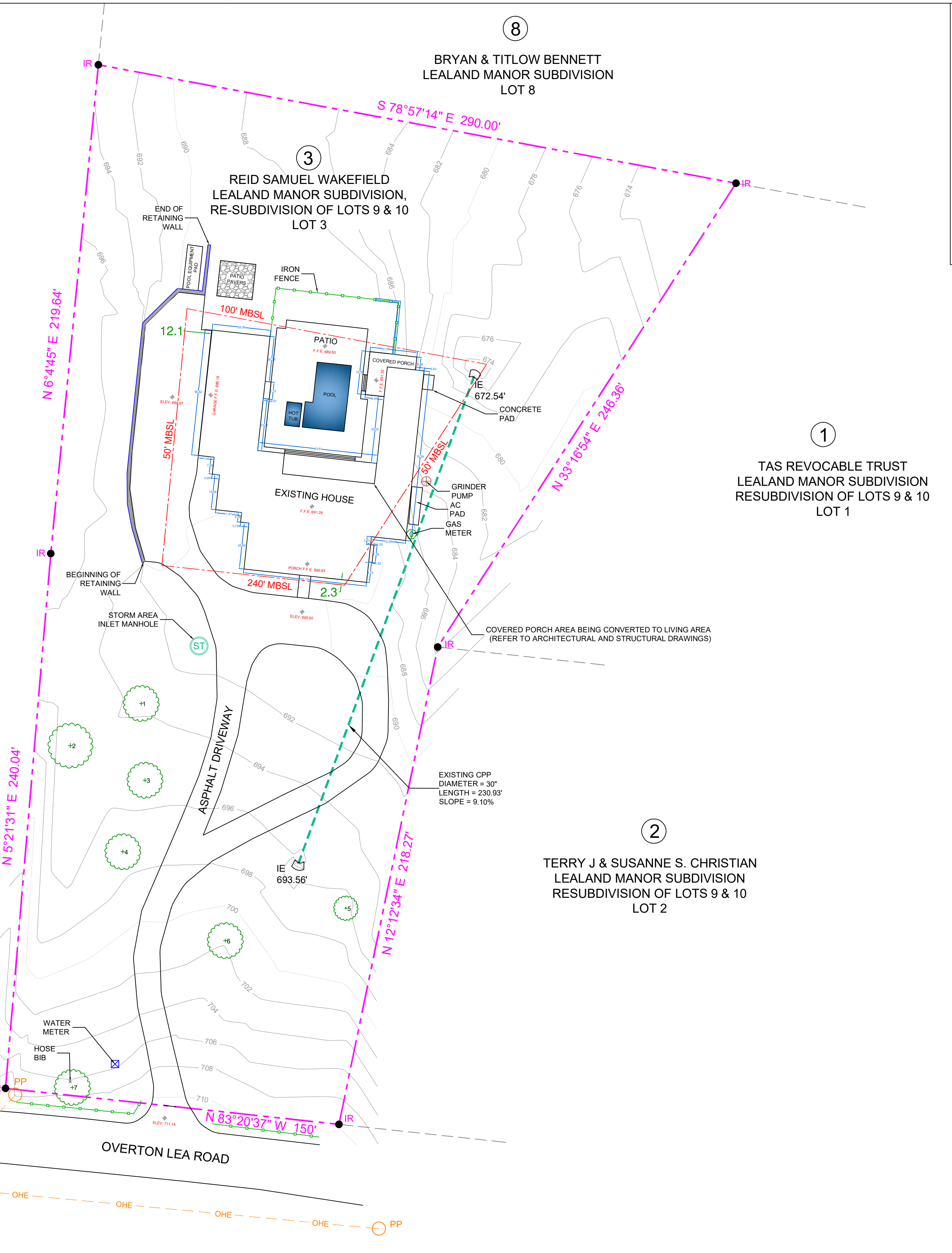
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ROOFED AREA OF ALL BUILDINGS:	6,144 S.F.
TOTAL EXISTING IMPERVIOUS AREA:	19,145 S.F.
NET ADDITIONAL I.A.:	0 S.F.
TOTAL EXISTING AND PROPOSED I.A. / TOTAL LOT SF:	19,145 SF / 89,848 SF = 21.3%



**ALLIANCE**  
ENGINEERING & CONSULTING, LLC

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Alliance Engineering & Consulting, LLC

11  
CAROL F. RENFRO  
LEALAND MANOR SUBDIVISION  
LOT 11



**TREE TABLE**

NO.	SIZE	TYPE
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2	24"	HACKBERRY
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- IR IRON ROD (IR)
- X X" TREE

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CIVIL SITE PLAN

LOCATION:  
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NASHVILLE, TN

OWNER:  
REID SAMUEL  
WAKEFIELD

SHEET CONTENT:  
PROPOSED SITE PLAN

REV. NO.	DATE	REVIEWED BY:
0	6/28/23	JDS
1	6/29/23	JDS
2		
3		
4		

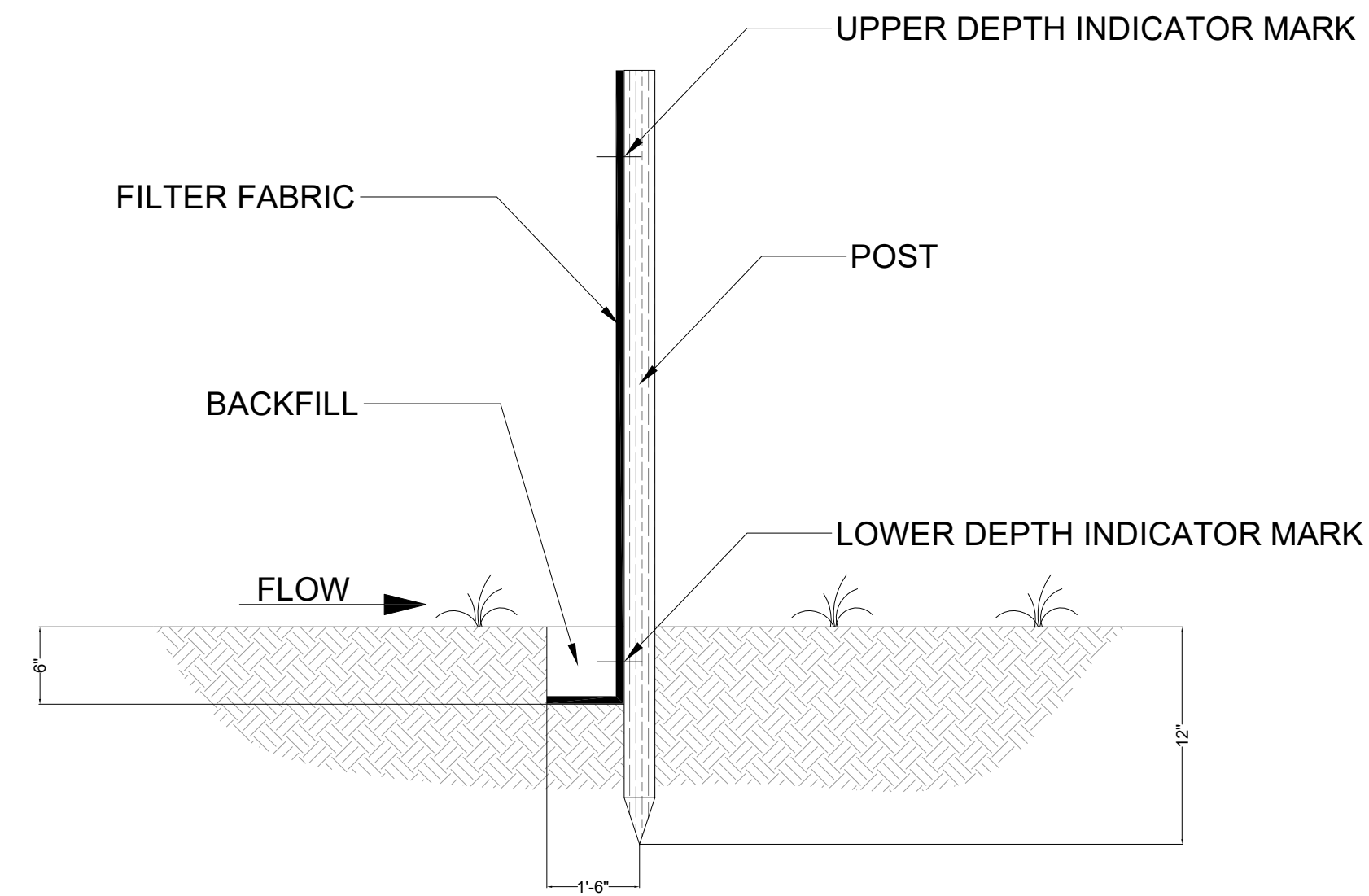
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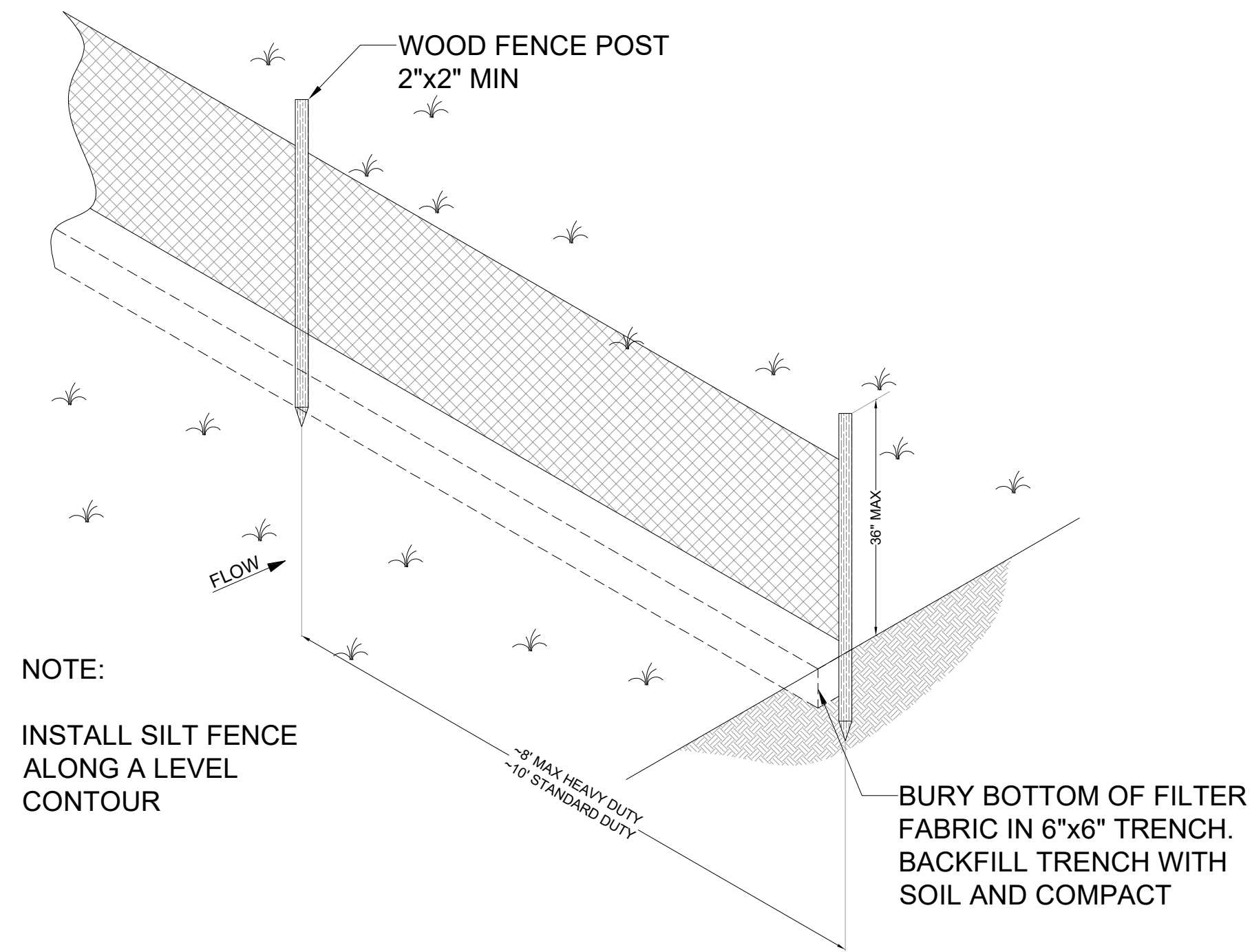
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**C4**

1" : 30'



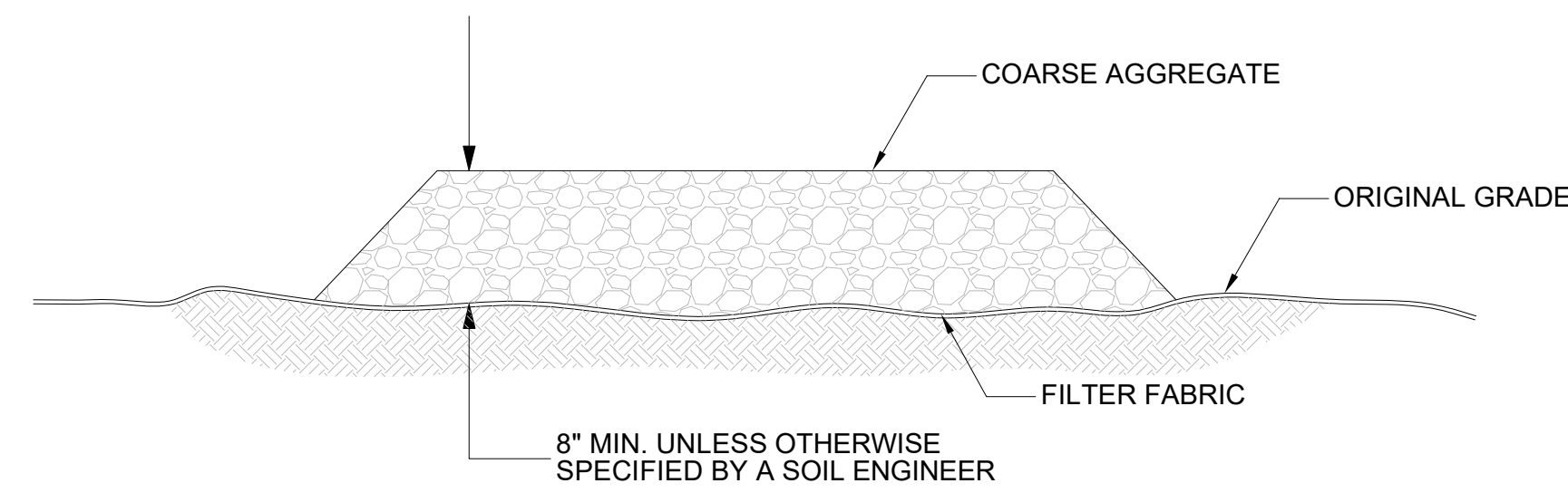


TYPICAL SILT FENCE DETAILS

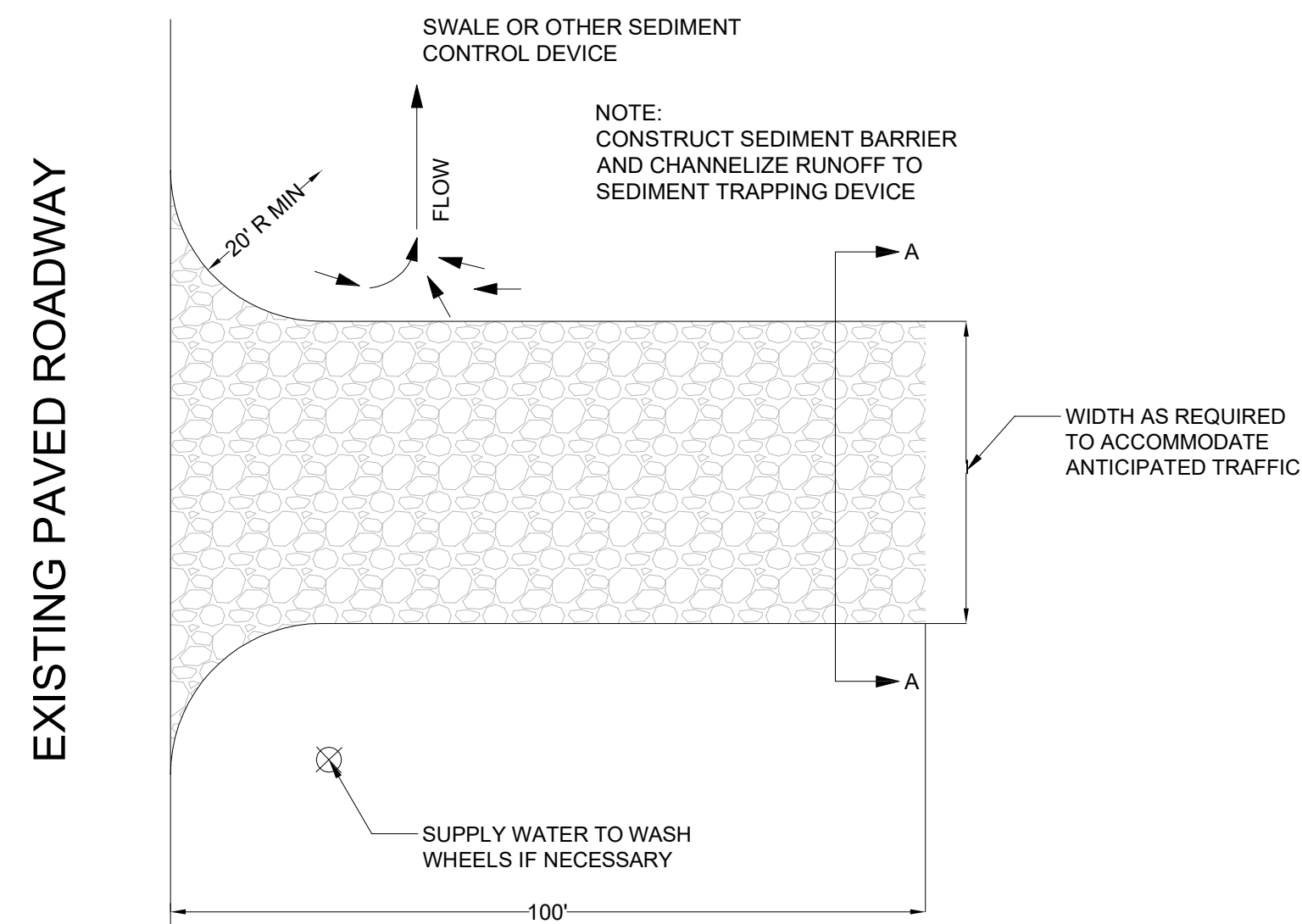


NOTE:  
INSTALL SILT FENCE  
ALONG A LEVEL  
CONTOUR

TYPICAL SILT FENCE INSTALLATION



SECTION A-A



PLAN VIEW

STABILIZED CONSTRUCTION ENTRANCE

1 TEMPORARY SILT FENCE DETAILS

2 STABILIZED CONSTRUCTION ENTRANCE DETAILS



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OWNER:

REID SAMUEL  
WAKEFIELD

SHEET CONTENT:

TYPICAL DETAILS

REV. NO.	DATE	REVIEWED BY:	DATE	CAD BY:	REV. NO.
0	6/29/23	JDS	6/28/23	LEL	0
1	6/29/23		6/29/23	LEL	1
2					2
3					3
4					4

REMARKS:  
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SHEET CONTENT:

C5

NTS



Site Grading, Drainage & Erosion Control Notes:

1. The contractor shall comply with all pertinent provisions of the manual of accident prevention and construction issued by AGC of America Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor.
2. The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation.
3. If any springs or underground streams are exposed during construction, permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
4. Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
5. Clean silt barriers when they are approximately 50% filled with sediment or as directed by the owner's representative. Silt barriers shall be replaced as effectiveness is significantly reduced, or as directed by the owner's representative.
6. All new pipes under existing paved areas shall be backfilled to the top of subgrade with #57 crushed stone.
7. Sediment removed from sediment control structures is to be placed at a site approved by the local governing authorities. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for the earthwork. The contractor shall obtain the disposal site as part of his work.
8. Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
9. Minimum grade on asphalt or concrete paving shall be 1.0%
10. Construct silt barriers before beginning any grading operations.
11. This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
12. Do not disturb vegetation or remove trees except when necessary for grading purposes.
13. Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plan unless otherwise noted. The grates shall slope longitudinally with the pavement grades. Coordinates provided are for the center of the grate (at the face of curb where applicable).
14. Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property utilized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
15. Respread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization.
16. Proposed contour lines and spot elevation are the result of engineered grading design and reflect a planned intent with regard to drainage and movement of materials. Should the contractor have any question of the intent any problem with the continuity of grades, the engineer shall be contacted immediately.
17. All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless indicated by plans.
18. Positive drainage shall be established in the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut with suitable fill materials.
19. Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by the owner's representative.
20. Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.

22. Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when the opinion of the owner's representative, they are no longer needed.
23. Provide temporary construction access at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dirt.
24. All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
25. All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by owner.
26. All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
27. The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any grading work constitutes the contractor's acceptance of the existing grade as matching those shown on the plans.
28. Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading respread the topsoil over all disturbed areas, to a minimum depth of 6". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
29. The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stem, etc. inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at no additional cost to the owner.
30. In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations. Specifically the current OSHA Health and Safety Standards for Excavations (29CRD Part 1926) shall be followed.
31. All fill slopes and cut slopes on this project shall be reviewed by the owners's geotechnical engineer during construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
32. All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this conformation in writing from the geotechnical engineer.
33. Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on site.
34. All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any discrepancies to what was designed.
35. The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans.
36. The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible. The contractor shall walk the alignment of these swales and ditches in the field to verify avoidance of trees.



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**Joshua D. Spradlin, P.E.**  
Alliance Engineering & Consulting, LLC  
1718 General George Patton Drive  
Brentwood, TN 37027  
615-801-2179

DATE: 9-19-2023

PROJECT:

1108 OVERTON LEA DRIVE  
CIVIL SITE PLAN

LOCATION:

1108 OVERTON LEA DRIVE,  
DAVIDSON COUNTY,  
NASHVILLE, TN

OWNER:

REID SAMUEL  
WAKEFIELD

SHEET CONTENT:

GENERAL NOTES

REV. NO.	DATE	REVIEWED BY:	CAD BY:	1	2	3	4
0	6/28/23	JDS	LEL				
1	6/29/23		LEL				
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SHEET CONTENT:

C6


NTS



**GENERAL NOTES:**

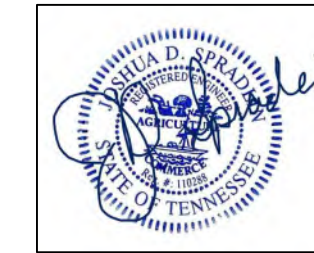
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODES AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
2. LVL BEAMS SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 3100 PSI AND MODULUS OF ELASTICITY OF 2,000,000 PSI AND BE AS MANUFACTURED BY BOISE CASCADE OR APPROVED EQUAL.
3. FLOOR JOISTS SHALL BE AS SHOWN AND NOTED ON THE DESIGN DRAWINGS.
4. STANDARD SIZE WOOD MEMBERS SHALL BE OF MINIMUM #2 CLASS SOUTHERN YELLOW PINE OR BETTER AND HAVE A MINIMUM MODULUS OF ELASTICITY OF 1,400,000 PSI.
5. ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
6. CONCRETE USED FOR SLABS AND COLUMNS SHALL HAVE A MINIMUM 3500 PSI COMPRESSIVE STRENGTH AT 28 DAY BREAK. PERFORMANCE OF CONCRETE SHALL DEPEND ON SUCH THINGS AS THE QUALITY OF THE CONCRETE, PROPER PLACEMENT OF REINFORCING STEEL AS NOTED ON PLANS, QUALITY OF THE SUBGRADE AND THE METHOD OF PLACEMENT OF THE CONCRETE. IT IS THE RESPONSIBILITY OF THE CONCRETE CONTRACTOR AND OR BUILDER TO VERIFY THAT THESE CONDITIONS ARE PROPERLY VERIFIED. IT IS PREFERRED THAT WELDED WIRE MESH BE PLACED IN ALL CONCRETE SLABS.
7. STRUCTURAL STEEL MEMBERS SHALL HAVE A YIELD STRENGTH OF 36 KSI FOR W-SHAPE MEMBERS AND 50 KSI FOR HSS MEMBERS.
8. UNLESS NOTED OTHERWISE, ALL REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF ASTM 615, GRADE 60. STEEL REINFORCEMENT SHALL BE PLACED IN ALL CONCRETE AS NOTED ON DRAWINGS.
9. DETAILS NOT SHOWN SHALL BE DONE IN ACCORDANCE WITH STANDARD BUILDING TECHNIQUES AND IN ACCORDANCE WITH ALL BUILDING CODES.
10. DESIGN LOADS:
 

10.1.1.1.	FLOOR LIVING AREAS	40 PSF LIVE LOAD & 10 PSF DEAD LOAD (UNLESS NOTED OTHERWISE)
10.1.1.2.	FLOOR SLEEPING AREAS	30 PSF LIVE LOAD & 10 PSF DEAD LOAD (UNLESS NOTED OTHERWISE)
10.1.1.3.	CEILING/ATTIC AREAS	20 PSF LIVE LOAD & 10 PSF DEAD LOAD (UNLESS NOTED OTHERWISE)
10.1.1.4.	ROOF AREAS	20 PSF LIVE LOAD & 10 PSF DEAD LOAD (UNLESS NOTED OTHERWISE)
10.1.1.5.	WALLS	125 MILE PER HOUR GUST WIND LOAD
11. THE BUILDING CONTRACTOR SHALL OBTAIN ALL PERMITS AND REQUIRED INSPECTIONS FOR THE CONSTRUCTION.
12. ALL DIMENSIONS SHALL BE VERIFIED & CONFIRMED IN THE FIELD DURING CONSTRUCTION. PLAN SCALE AS NOTED ON EACH PLAN SHEET AS THEY CAN CHANGE. DIMENSION LINES AND NOTES SUPERSEDE ALL SCALED REFERENCES.
13. HURRICANE STRAPS TO BE INSTALLED AT ENDS OF EACH RAFTER.
14. CAUTION MUST BE EXERCISED WHEN MAKING ANY CHANGES TO THE PLANS. THE ENGINEER MUST BE NOTIFIED OF ANY PROPOSED MODIFICATIONS PRIOR TO MAKING CHANGES. EVEN MINOR CHANGES IN ONE AREA OF THE PLAN COULD LEAD TO MAJOR PROBLEMS IN ANOTHER AREA.
15. THESE PLANS ARE FOR THE 1108 OVERTON LEA REMODEL PROPERTY. DESIGNS ARE BASED OFF OF ARCHITECTURAL DRAWINGS PROVIDED BY BAGWELL DESIGNS. FOR ALL OTHER INFORMATION, INCLUDING DIMENSIONS, FIELD VERIFICATION MAY BE NEEDED. ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR INCORRECT FIELD MEASUREMENTS.
16. EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO AVOID ERRORS, OMISSIONS, MISTAKES AND TO INCORPORATE THE MOST UP-TO-DATE FIELD MEASUREMENTS AND INFORMATION. THE BUILDER AND OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS, AND SPECIFICATIONS AND SHALL HAVE RESPONSIBILITY FOR THE SAME.
17. ARCHITECTURAL PLANS BY OTHERS. THE SCOPE DECLARED ON THIS SET OF PLANS IS LIMITED TO THE STRUCTURAL DESIGN OF A THREE-STORY RESIDENTIAL PROPERTY. OTHER ITEMS NOT DECLARED HERE SHALL BE COORDINATED WITH THE OWNER/GENERAL CONTRACTOR.



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**Joshua D. Spradlin, P.E.**  
Alliance Engineering & Consulting, LLC  
1718 General George Patton Drive  
Brentwood, TN 37027  
615-801-3179

DATE: 7-24-2023

PROJECT:  
ADDITIONS AND  
RENOVATIONS TO THE  
WAKEFIELD RESIDENCE -  
STRUCTURAL DRAWINGS

LOCATION:  
1108 OVERTON LEA ROAD  
NASHVILLE, TN 37220

OWNER:  
WAKEFIELD

SHEET CONTENT:  
GENERAL NOTES

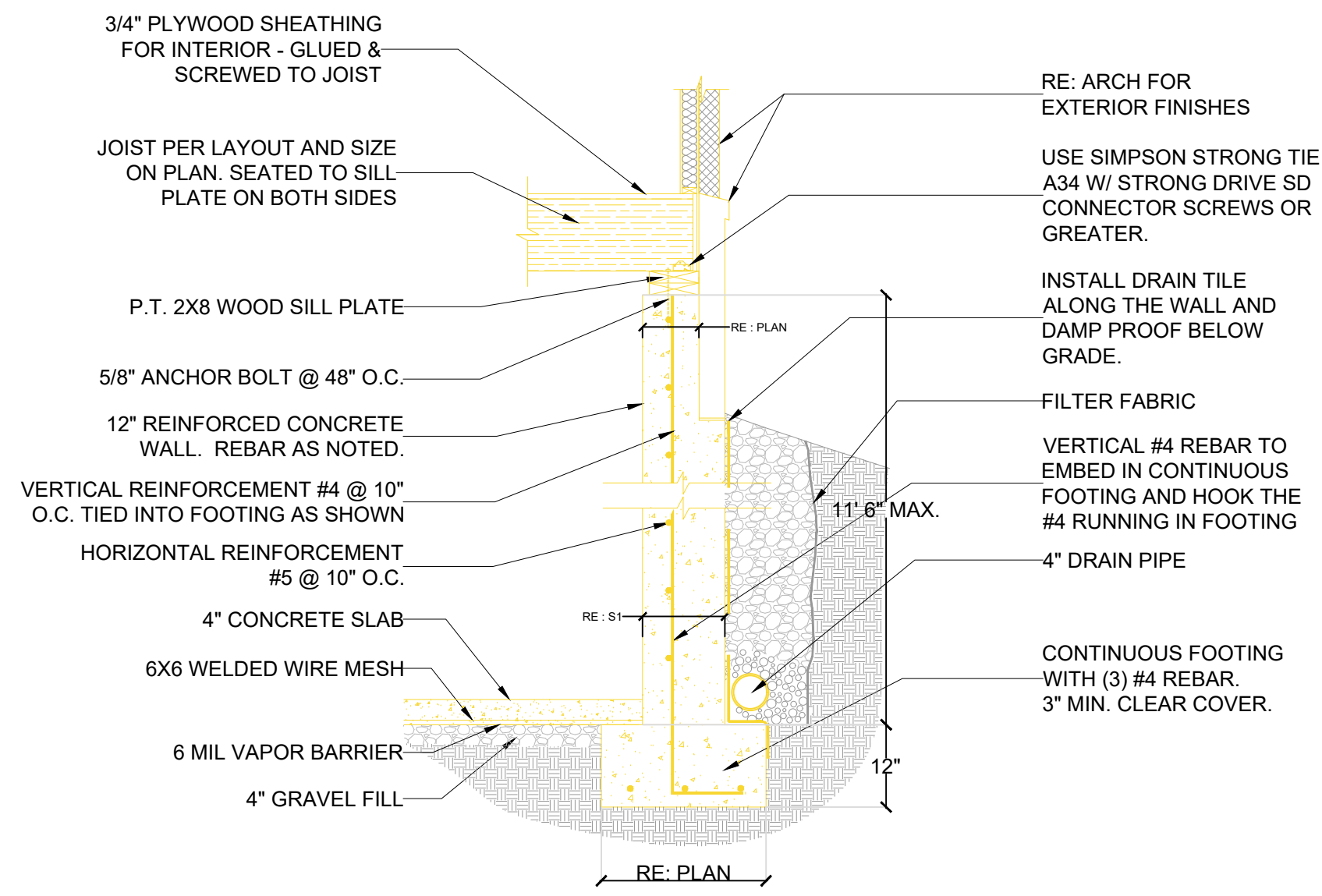
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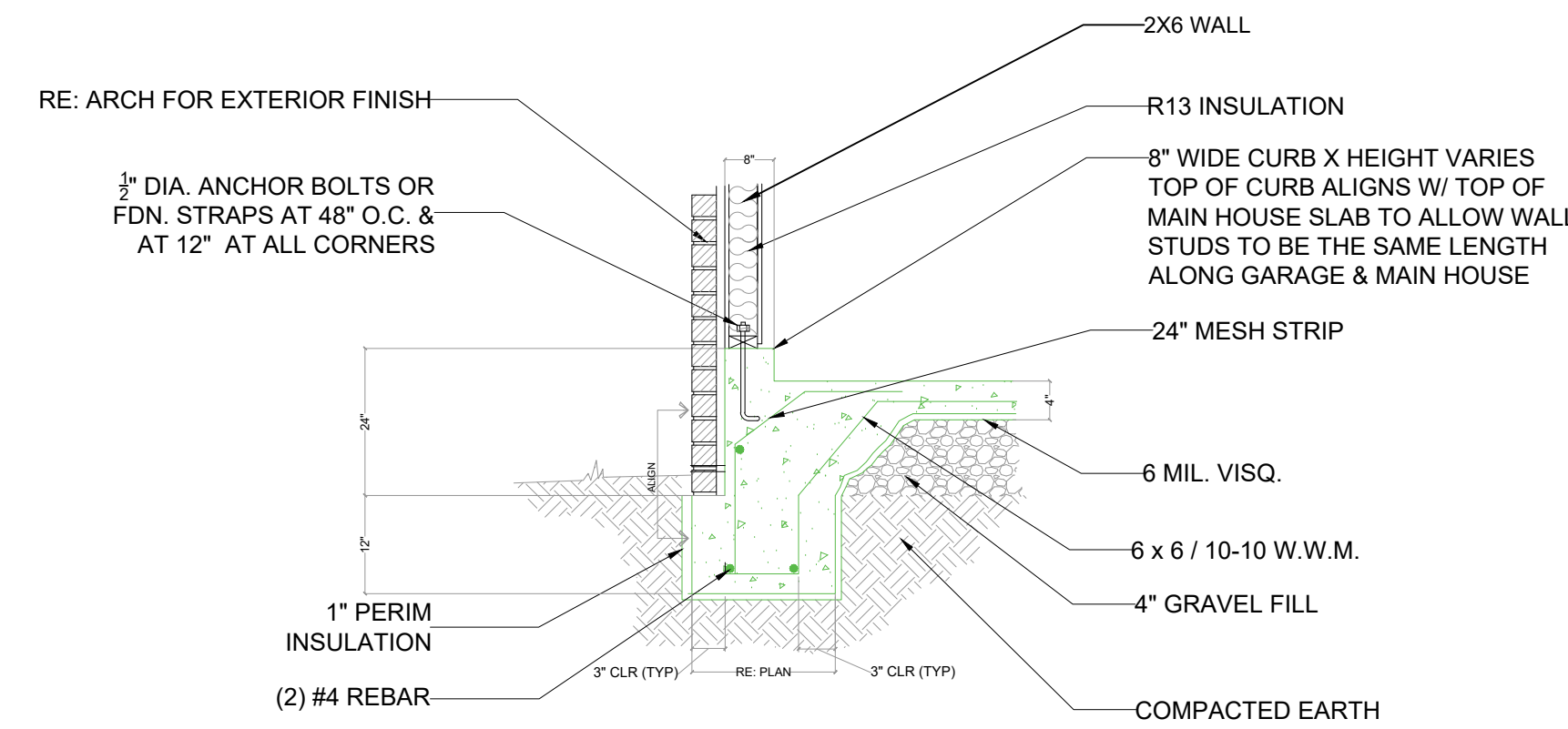
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S0
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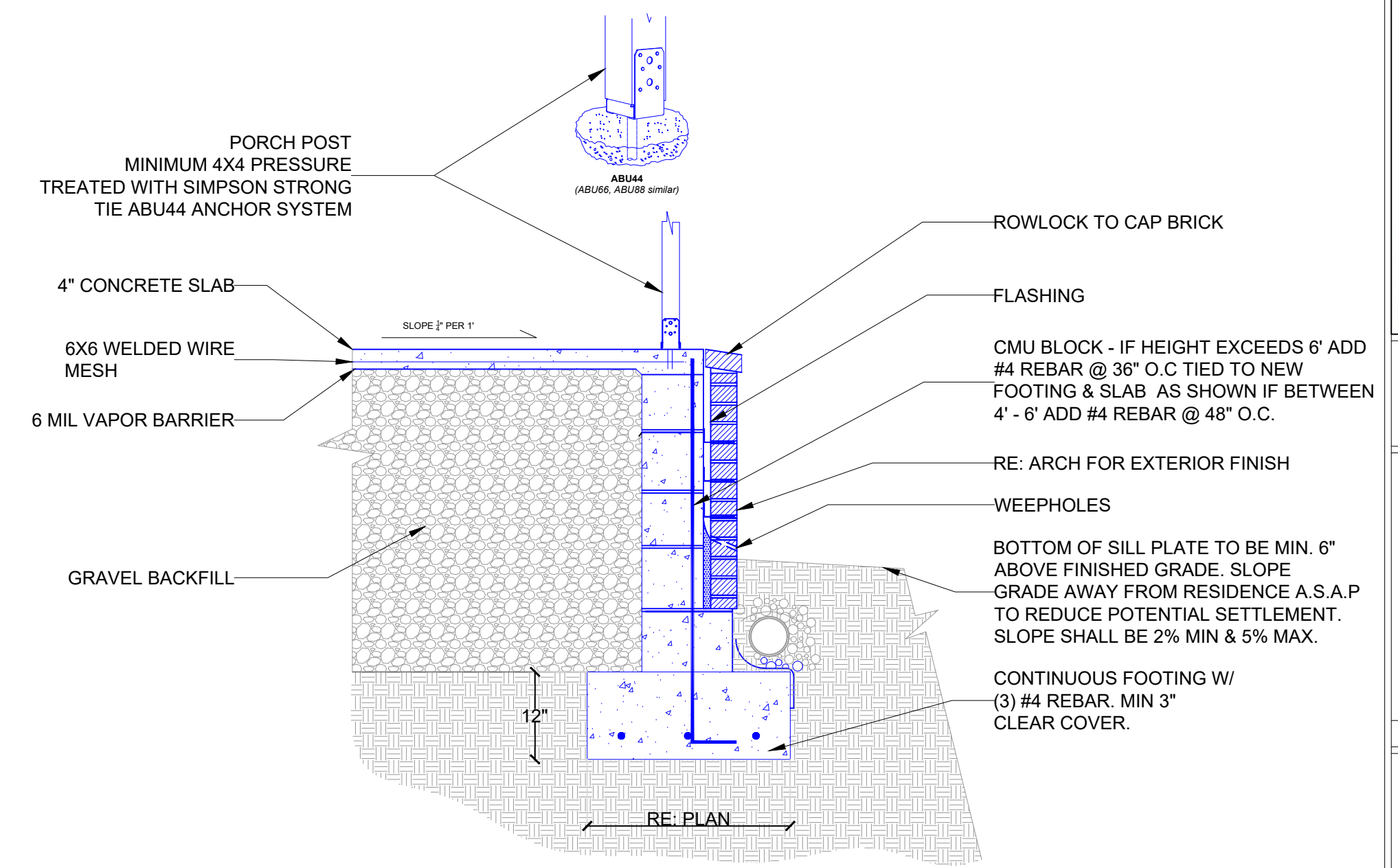




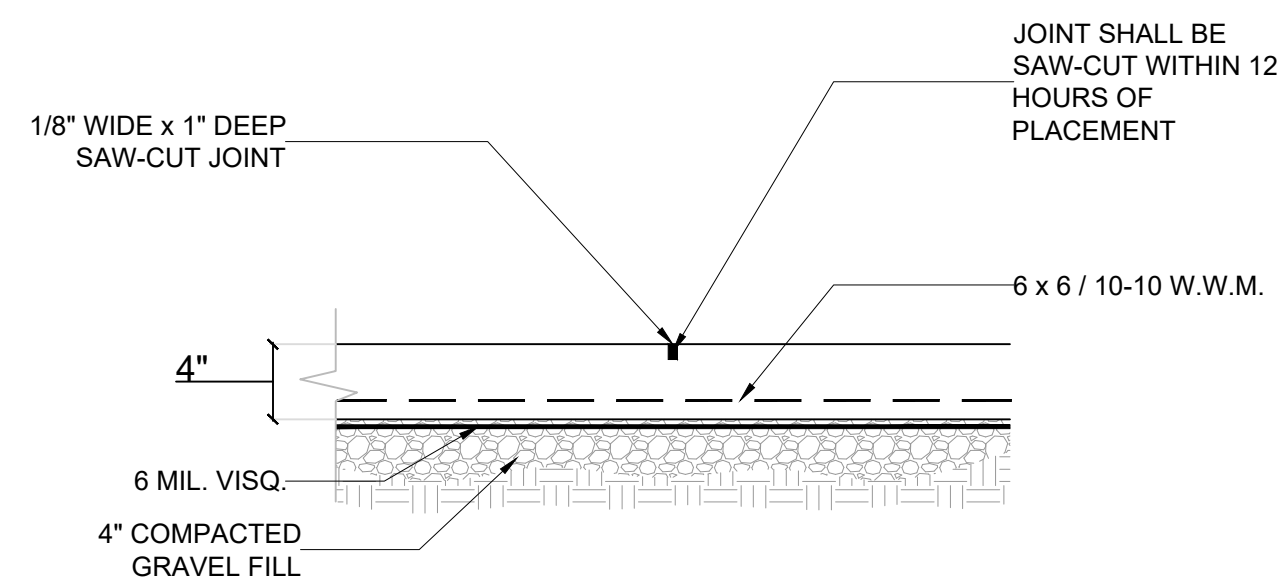
**F1 - CONCRETE BASEMENT WALL FOUNDATION**



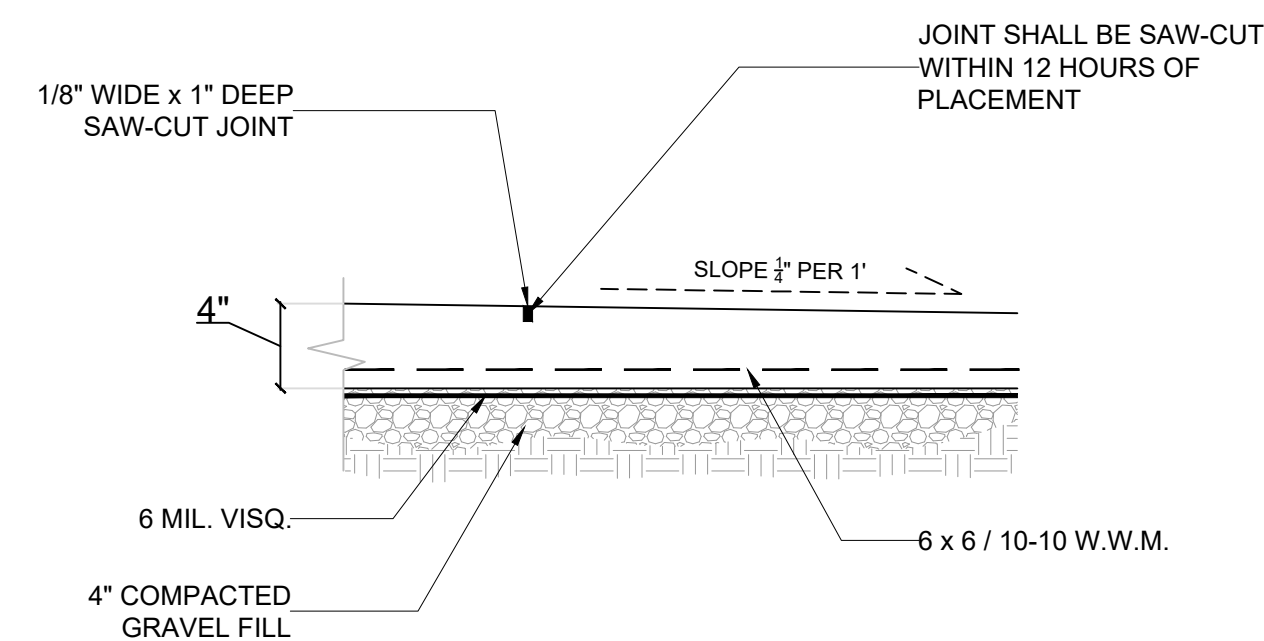
**F2 - FRAMED BASEMENT WALL FOUNDATION**



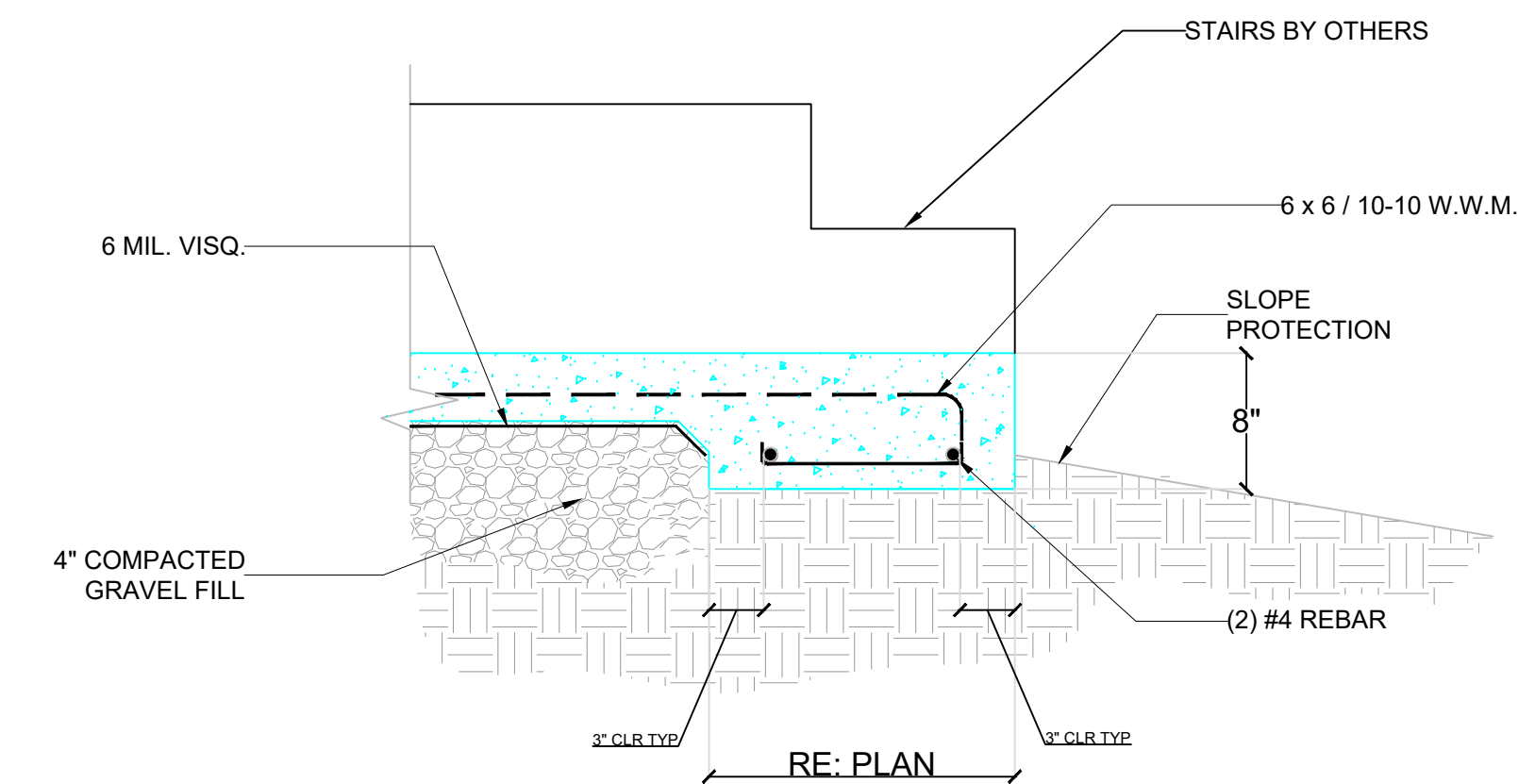
**F3 - FOUNDATION AT PORCH EXTENSION**



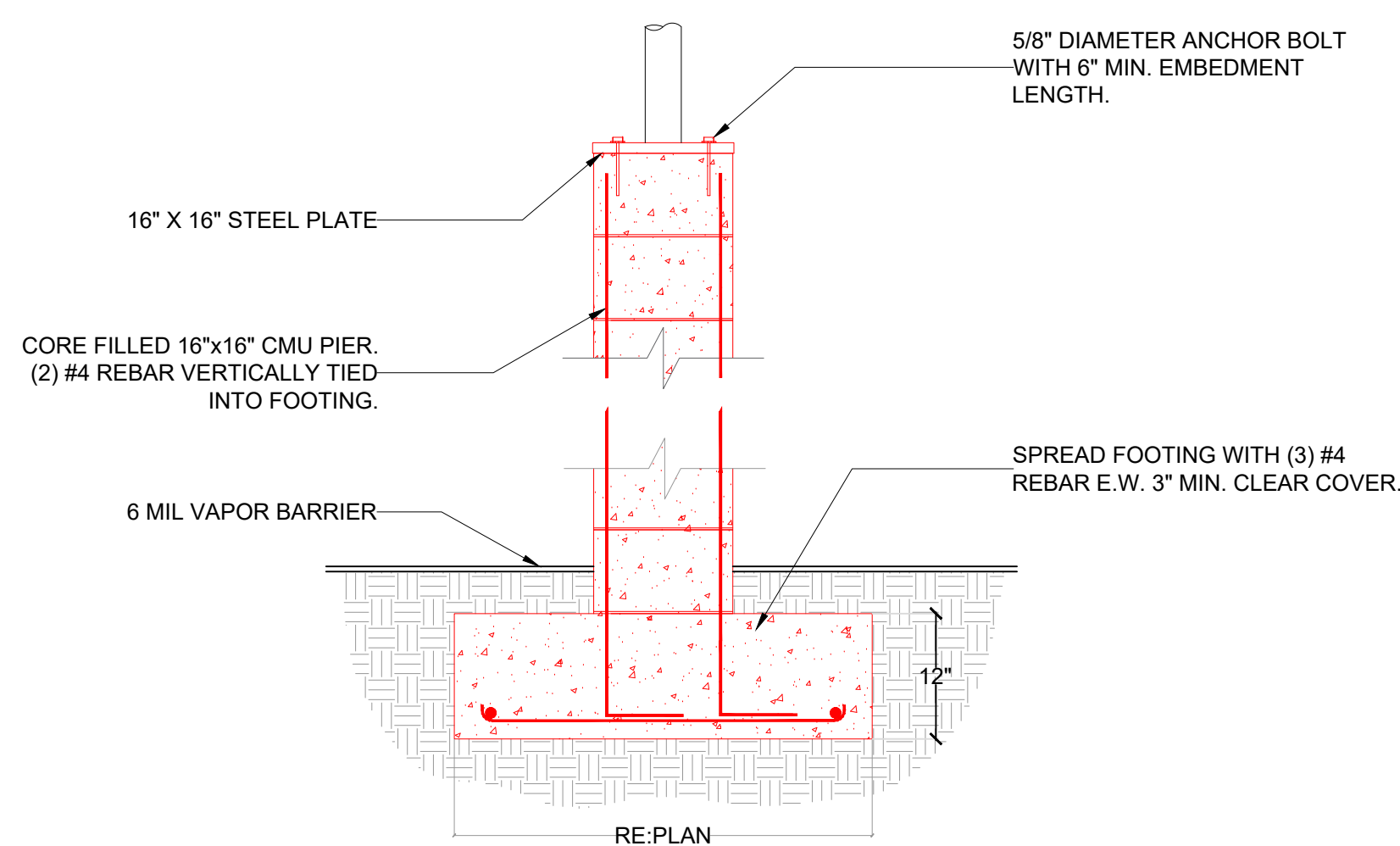
**F4 - TYPICAL SLAB-ON-GRADE**



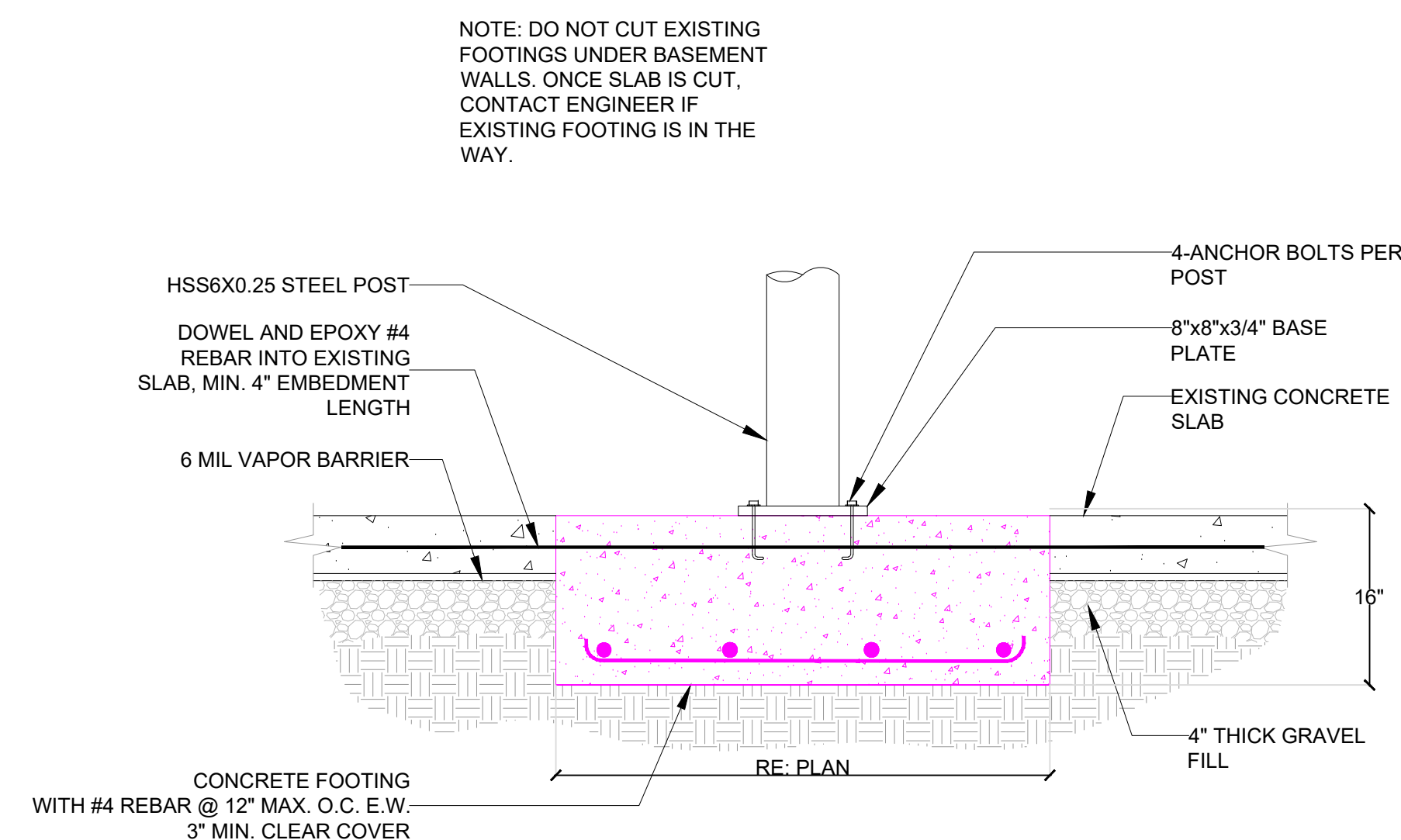
**F5 - TYPICAL SLAB-ON-GRADE (SLOPED)**



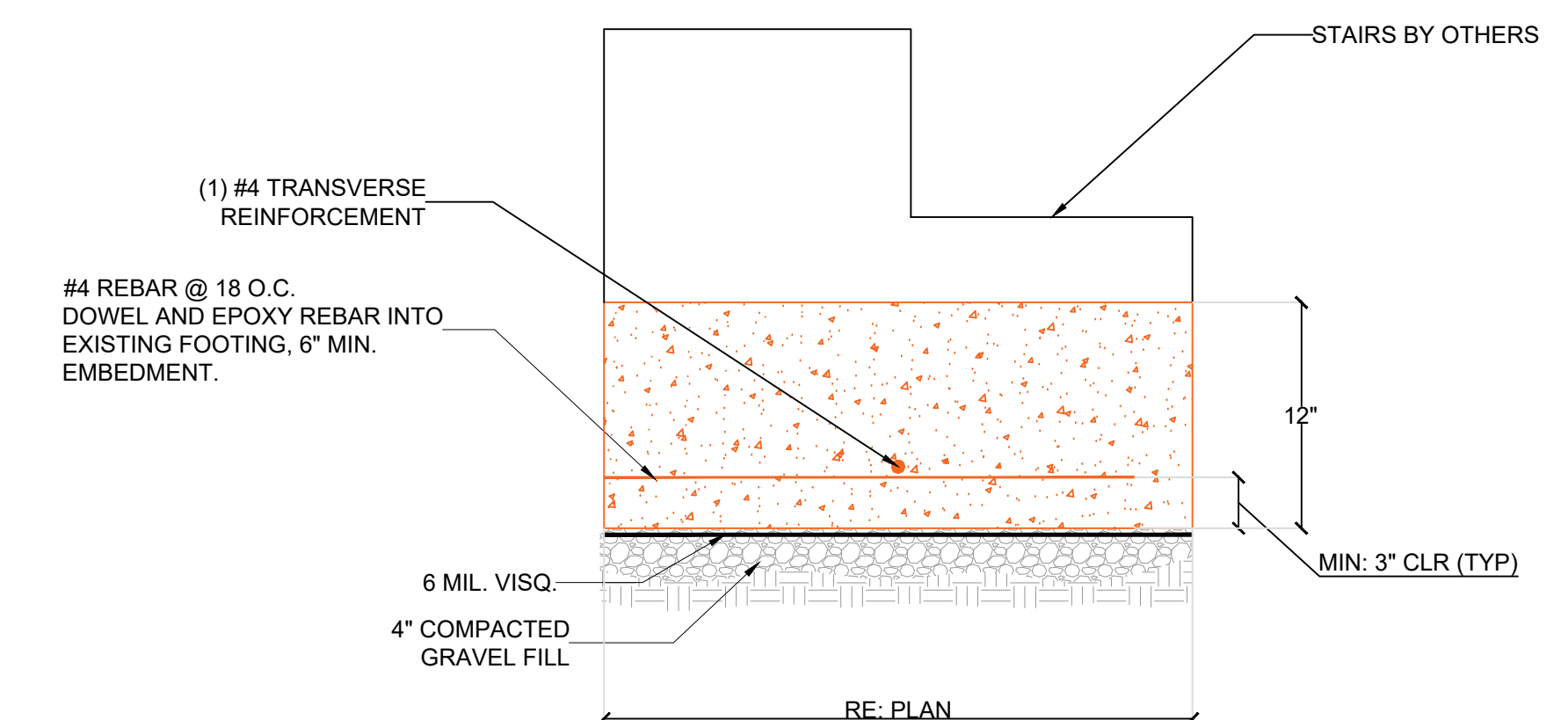
**F6 - THICKENED SLAB EDGE**



**F7 - TYPICAL PIER FOUNDATION DETAIL**



**F8 - TYPICAL STEEL COLUMN FOUNDATION**



**F9 - EXTERIOR STAIR PAD FOUNDATION**

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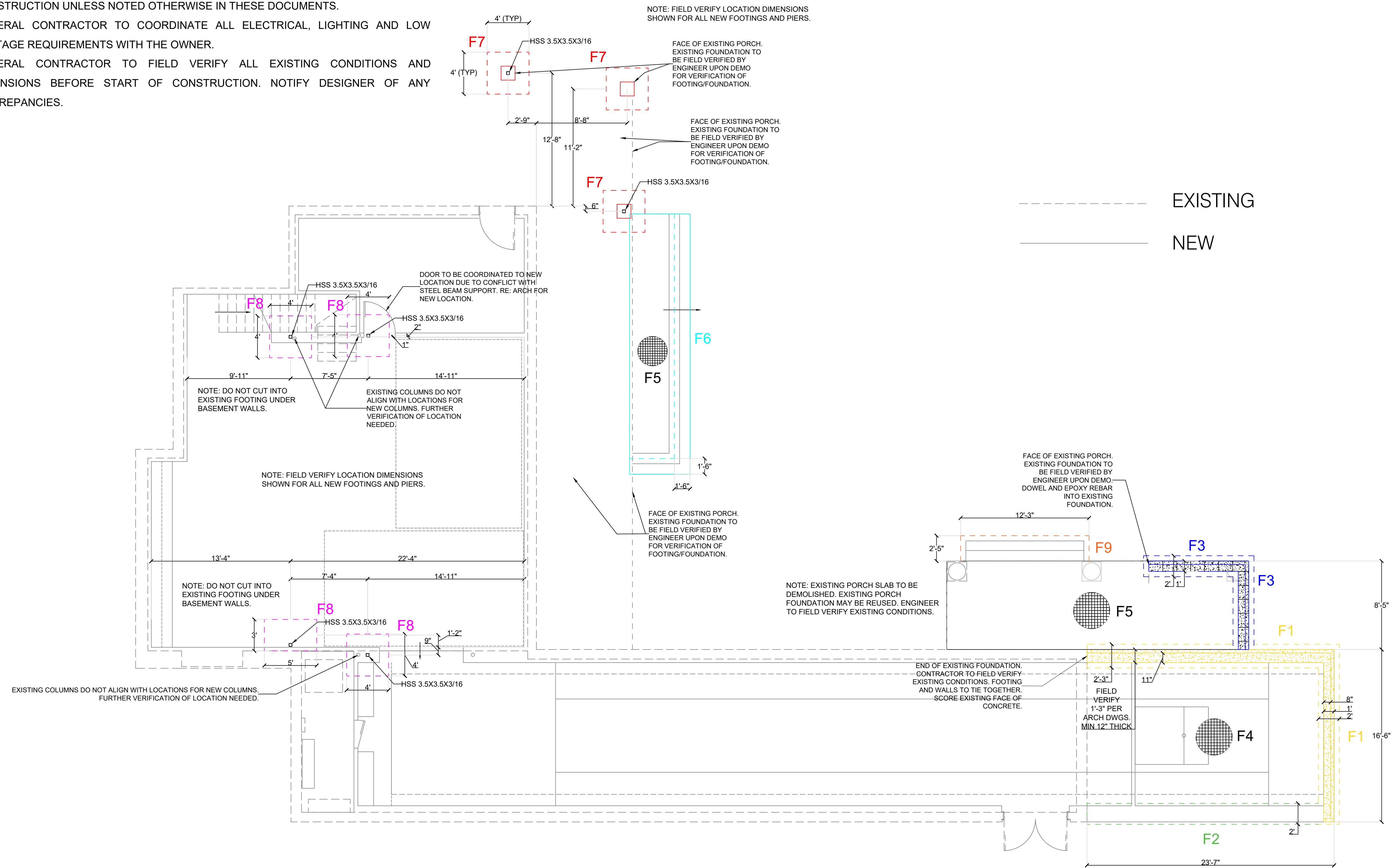
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SHEET CONTENT:



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----- EXISTING  
 \_\_\_\_\_ NEW

1 FOUNDATION PLAN  
 S1



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DATE: 7-24-2023  
 PROJECT:  
 ADDITIONS AND RENOVATIONS TO THE WAKEFIELD RESIDENCE - STRUCTURAL DRAWINGS

LOCATION:  
 1108 OVERTON LEA ROAD  
 NASHVILLE, TN 37220

OWNER:  
 WAKEFIELD

SHEET CONTENT:  
 FOUNDATION PLAN

REV. NO.	DATE	REVIEWED BY:	DATE	CAD BY:	REV. NO.
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SHEET CONTENT:  
**S1**  
 1" = 60'

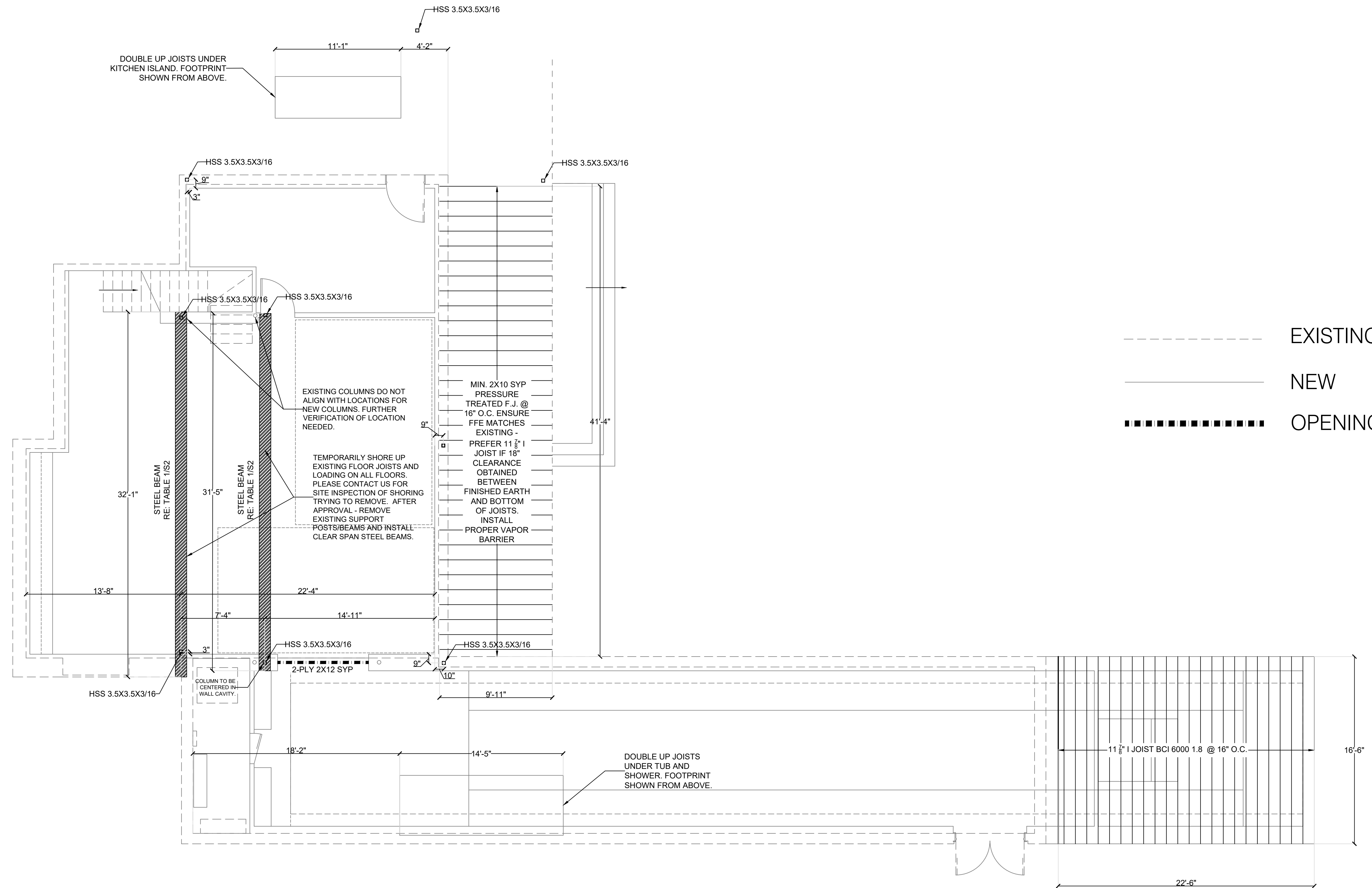


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TABLE 1 - MAIN FLOOR SUPPORT BEAMS				
BEAM SIZE	WEIGHT (LB/FT)	TOTAL WEIGHT* (LB)	DEPTH (IN)	FLANGE WIDTH (IN)
W16X100	100	3174	1'-5"	0'-10 3/8"
W18X86	86	2729	1'-6 3/8"	0'-11 1/8"
W21X68	68	2158	1'-9 1/8"	0'-8 1/4"

NOTE: EACH SIZE IS STRUCTURALLY ACCEPTABLE. CONTRACTOR AND ARCHITECT TO COORDINATE FINAL SELECTION. \*ROUNDED TO THE NEAREST POUND AND CALCULATED BASED ON THE LONGER BEAM.



--- EXISTING

— NEW

■■■■■■■■■■ OPENING HEADER

1 MAIN FLOOR FRAMING PLAN

S2



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Joshua D. Spradlin, P.E.  
Alliance Engineering & Consulting, LLC  
1718 General George Patton Drive  
Brentwood, TN 37027  
615-801-2179

DATE: 7-24-2023  
PROJECT: ADDITIONS AND RENOVATIONS TO THE WAKEFIELD RESIDENCE - STRUCTURAL DRAWINGS

LOCATION: 1108 OVERTON LEA ROAD NASHVILLE, TN 37220

OWNER: WAKEFIELD

SHEET CONTENT: MAIN FLOOR FRAMING PLAN

REV. NO.	DATE	CAD BY:	REVIEWED BY:
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SHEET CONTENT: S2 1" = 60'

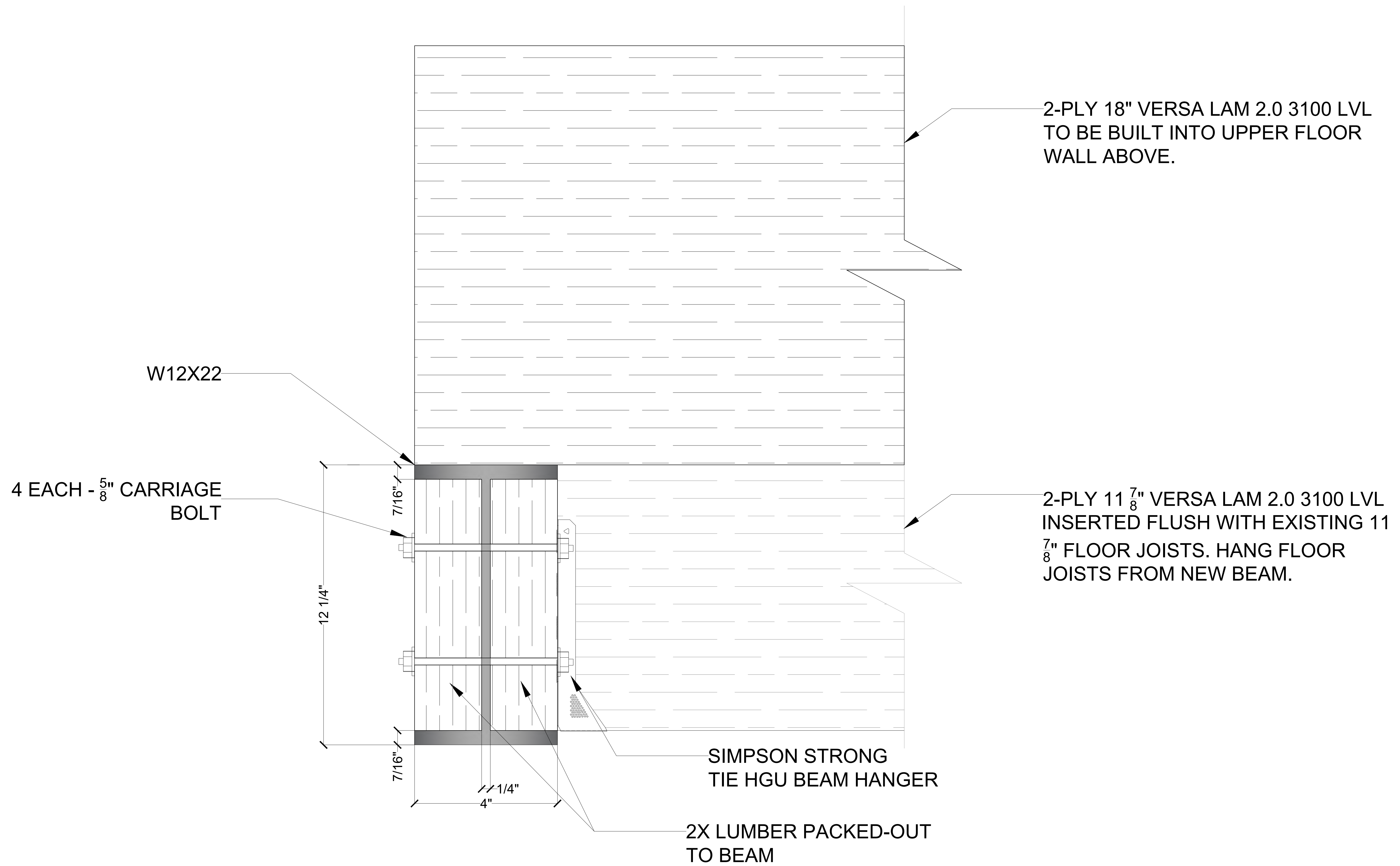




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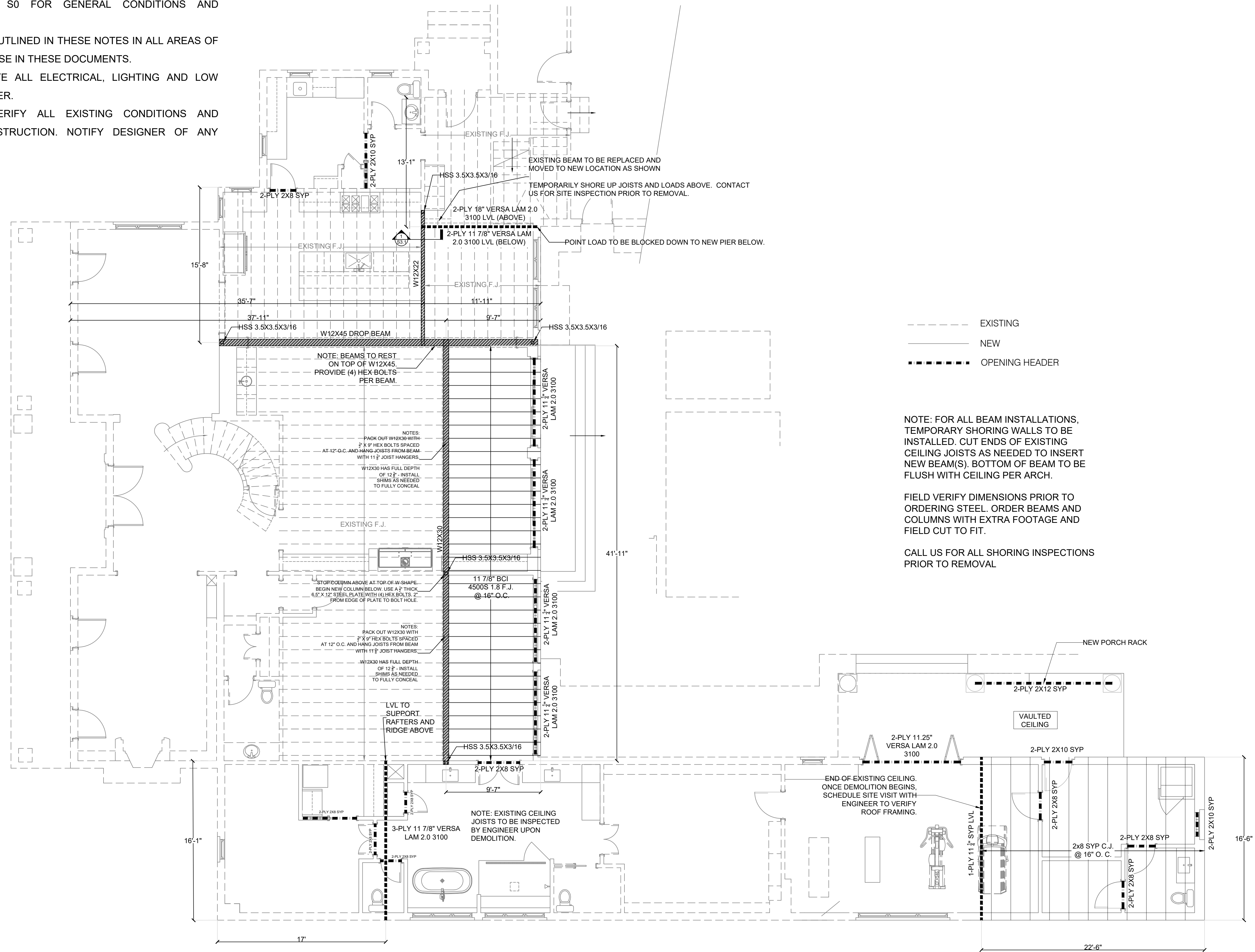


# DETAIL 1: STEEL TO TIMBER FRAMING CONNECTION



NOTES:

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1 S6 UPPER FLOOR FRAMING & MAIN FLOOR CEILING PLAN



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1718 General George Patton Drive  
Brentwood, TN 37027  
615-801-2179

DATE: 7-24-2023  
PROJECT: ADDITIONS AND RENOVATIONS TO THE WAKEFIELD RESIDENCE - STRUCTURAL DRAWINGS

LOCATION: 1108 OVERTON LEA ROAD NASHVILLE, TN 37220

OWNER: WAKEFIELD

SHEET CONTENT: UPPER FLOOR FRAMING & MAIN FLOOR CEILING PLAN

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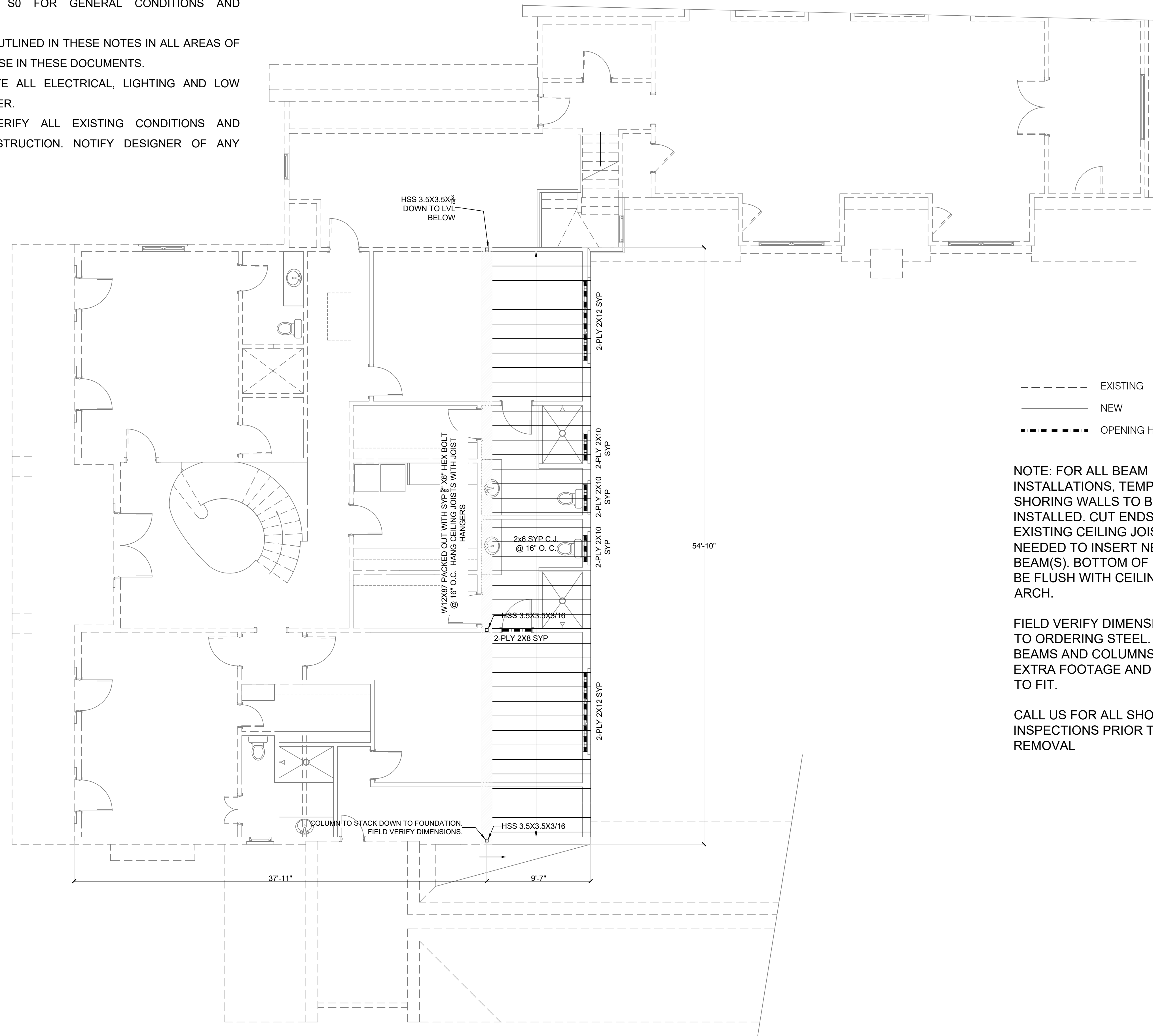
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SHEET CONTENT: S3 1" = 60'



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--- EXISTING  
 ——— NEW  
 - - - - - OPENING HEADER

NOTE: FOR ALL BEAM INSTALLATIONS, TEMPORARY SHORING WALLS TO BE INSTALLED. CUT ENDS OF EXISTING CEILING JOISTS AS NEEDED TO INSERT NEW BEAM(S). BOTTOM OF BEAM TO BE FLUSH WITH CEILING PER ARCH.

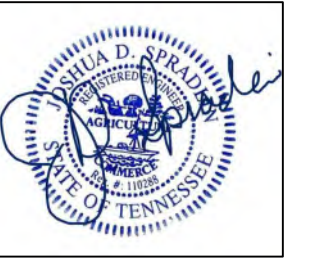
FIELD VERIFY DIMENSIONS PRIOR TO ORDERING STEEL. ORDER BEAMS AND COLUMNS WITH EXTRA FOOTAGE AND FIELD CUT TO FIT.

CALL US FOR ALL SHORING INSPECTIONS PRIOR TO REMOVAL

1 S6 UPPER FLOOR CEILING FRAMING PLAN



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 Alliance Engineering & Consulting, LLC



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 Alliance Engineering & Consulting, LLC  
 1718 General George Patton Drive  
 Brentwood, TN 37027  
 615-801-2179

DATE: 7-24-2023

PROJECT:  
 ADDITIONS AND RENOVATIONS TO THE WAKEFIELD RESIDENCE - STRUCTURAL DRAWINGS

LOCATION:  
 1108 OVERTON LEA ROAD  
 NASHVILLE, TN 37220

OWNER:  
 WAKEFIELD

SHEET CONTENT:  
 UPPER FLOOR CEILING FRAMING PLAN

REV. NO.	DATE	REVIEWED BY:	DATE	CAD BY:	DATE
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SHEET CONTENT:

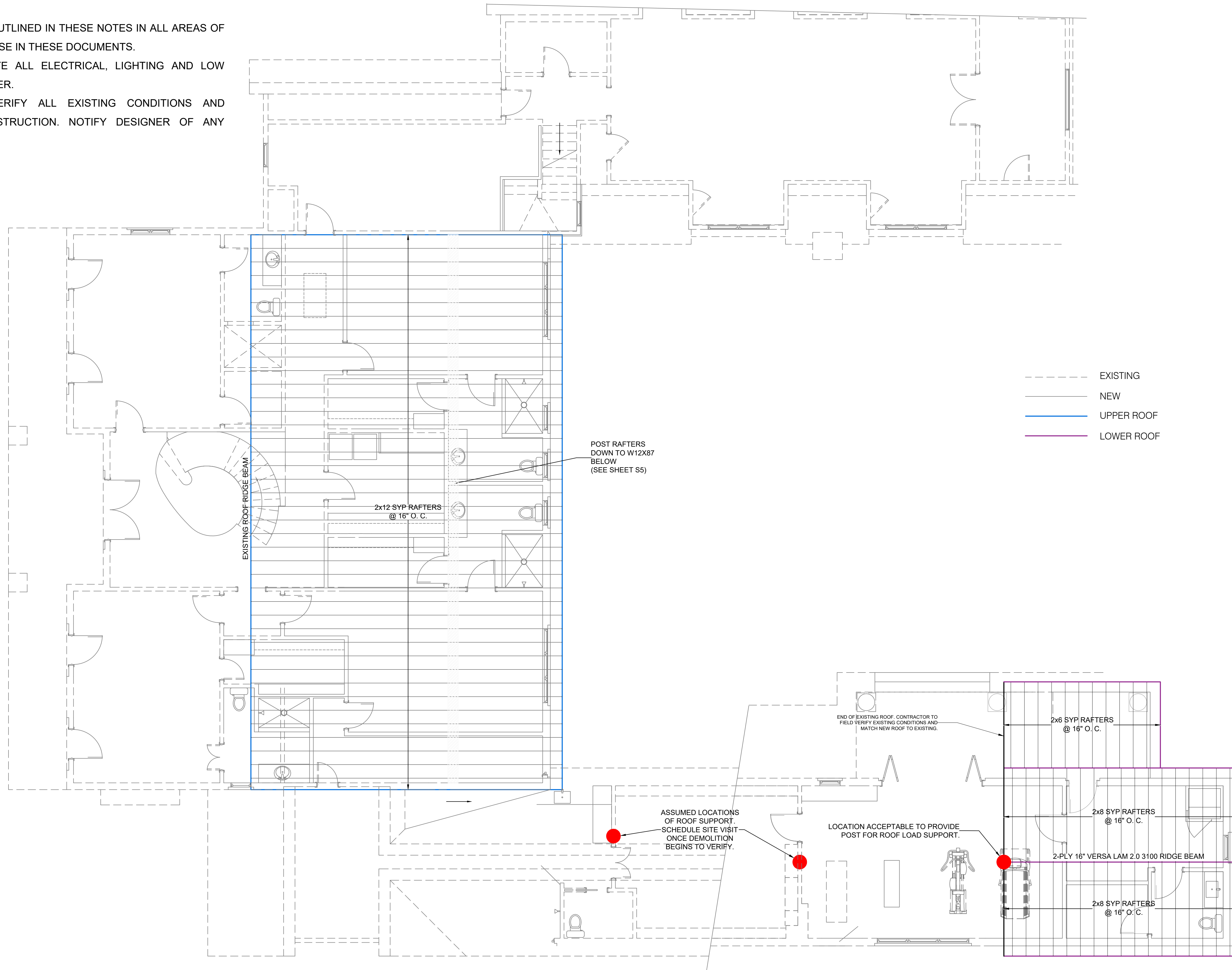
S4

1" = 60'



NOTES:

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1 ROOF FRAMING PLAN  
S6



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Alliance Engineering & Consulting, LLC

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Alliance Engineering & Consulting, LLC  
1718 General George Patton Drive  
Brentwood, TN 37027  
615-801-3179

DATE: 7-24-2023  
PROJECT:  
ADDITIONS AND RENOVATIONS TO THE WAKEFIELD RESIDENCE - STRUCTURAL DRAWINGS

LOCATION:  
1108 OVERTON LEA ROAD  
NASHVILLE, TN 37220

OWNER:  
WAKEFIELD

SHEET CONTENT:  
ROOF FRAMING PLAN

REV. NO.	DATE	REVIEWED BY:	DATE	CAD BY:
0				
1				
2				
3				
4				

REMARKS:  
These building plans are available to purchasers for the sole purpose of providing a general understanding of the specifications for the type of model selected. Field conditions, availability of materials, and many other factors will impact the final product. These plans are not FINAL: the developer reserves the right to modify these plans, including without limitation changes to the specifications and materials, without notice or obligation.

SHEET CONTENT:  
**S5**  
1" = 60'