

Permit #: 109

Permit Date: 10/18/23

Permit Type: Planning Commission

Case Number: PC 23-41

PC Meeting Date: b. 1st Tuesday of March

BZA Meeting Date:

Assigned Meeting Date: 03/05/2024

Special Meeting Date:

Applicant Is: Owner

Applicant Name: Reid Wakefield

Applicant Address: 5899 Willshire Dr.

Applicant City, State, ZIP: Nashville TN 37215

Applicant Phone Number: 214-240-0509

Applicant Email: reidwakefield@gmail.com

Description: Proposed addition to an existing, nonconforming structure that will not increase the existing structure's nonconformities. The existing structure is nonconforming in regard to maximum lot coverage and side setback line.

Project Cost: 0

Square Feet: 0

Lot Area: 0

Lot Coverage: 0

Heat/cooled area: 0

Proposed Height(ft.): 0

#of stories: 0

Lot Depth/Width Ratio:

Avg. front setback of adjacent homes:

Zoning District: Zone F

Radnor Lake Impact Zone:

Steep Slope:

Plat/Subdivison:

Status: Open

Assigned To: Desiree Lohr

Property

Parcel #	Address	Legal Description	Owner Name	Owner Phone	Zoning
14504004900	1108 OVERTON LEA RD	LOT 3 LELAND MANOR SUB RE-SUB LOTS 9 & 10	PRINE, JOHN FAMILY TRUST & FIONA WHELAN FAMILY TRUST		

Fees

Fee	Description	Notes	Amount
Residential Presentation Fee			\$250.00
Total			\$250.00

Payments

Emily & Bryan Bennett
4911 Sewanee Road
Nashville, TN 37220

The City of Oak Hill Board of Zoning Appeals
5548 Franklin Pike
STE 101
Nashville, TN 37220

November 17, 2023

Dear Members of the Oak Hill Board of Zoning Appeals,

We write in response to the variance request at 1108 Overton Lea Road. We understand the Wakefields' situation with a non-conforming lot and, as neighbors who share a property line with them, we endorse their appeal for a variance affecting the eastern corner of the property. We do not see any negative affect to our property or neighborhood and are so thrilled to have a family who is already invested in our community become neighbors!

Please do not hesitate to contact us if you need any additional information or insight.

Most warmly,

A handwritten signature in black ink, appearing to be 'Emily & Bryan Bennett', written over a faint, illegible printed name.

Emily & Bryan Bennett

Jennifer and Tomm Sharpe
4915 Sewanee Rd
Nashville, TN 37220

November 17, 2023

To the Members of the Oak Hill Board of Zoning Appeals,

Please accept this letter as our endorsement of the Wakefield's variance request for 1108 Overton Lea. We live adjacent to the property at 4915 Sewanee Rd and are familiar with the proposed design plans. This change would have no negative effects on our property or the neighborhood at large. We support this variance request.



Jennifer Sharpe



Tomm Sharpe

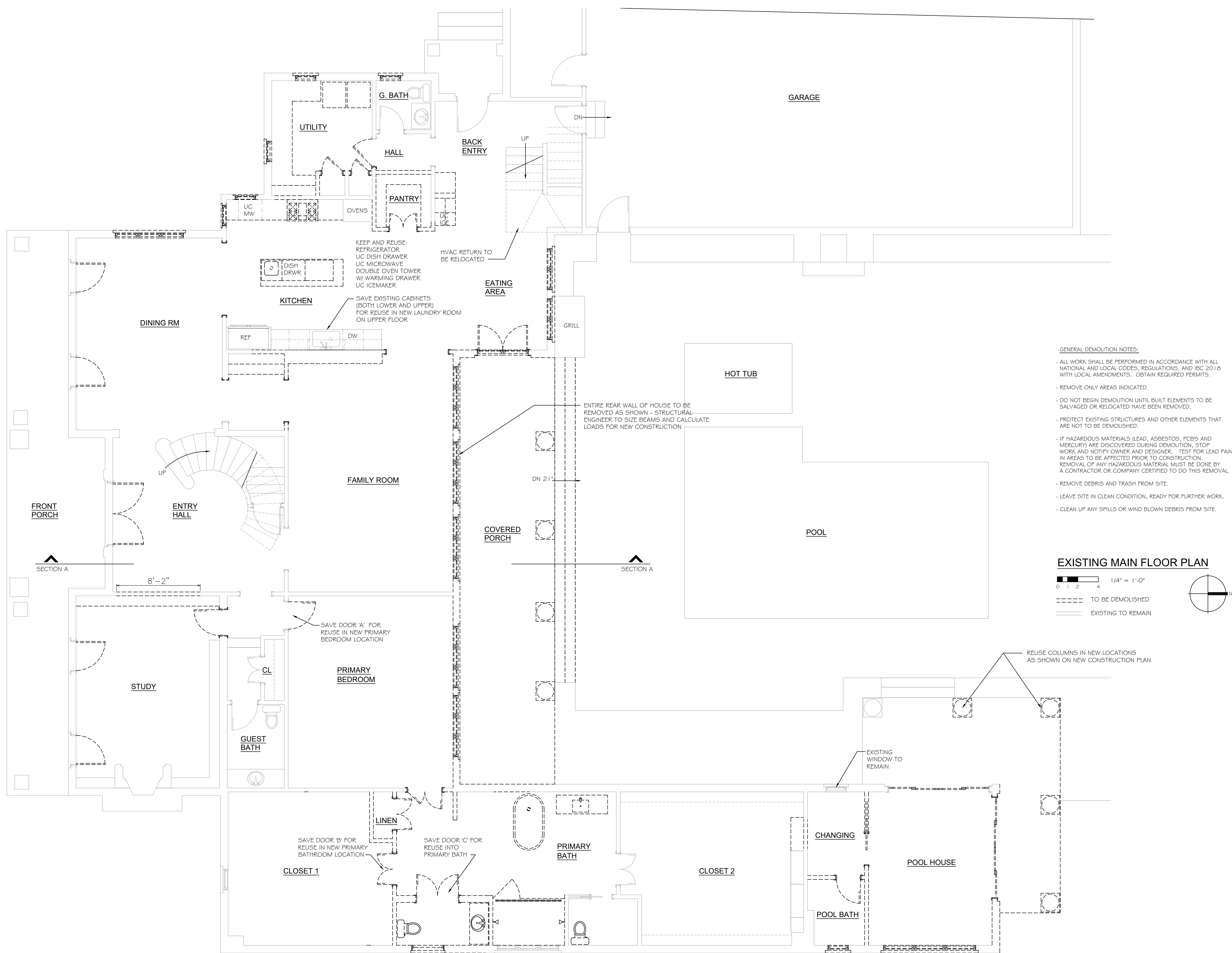


Jennifer Bagwell
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Additions and Renovations to the

Wakefield Residence

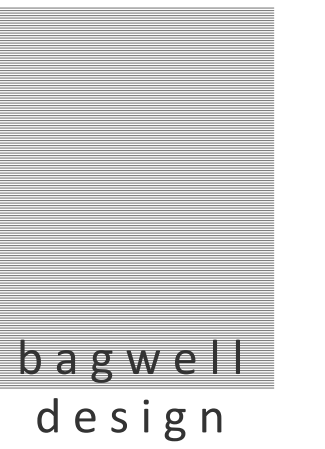
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Updated Working Set	02.27.24
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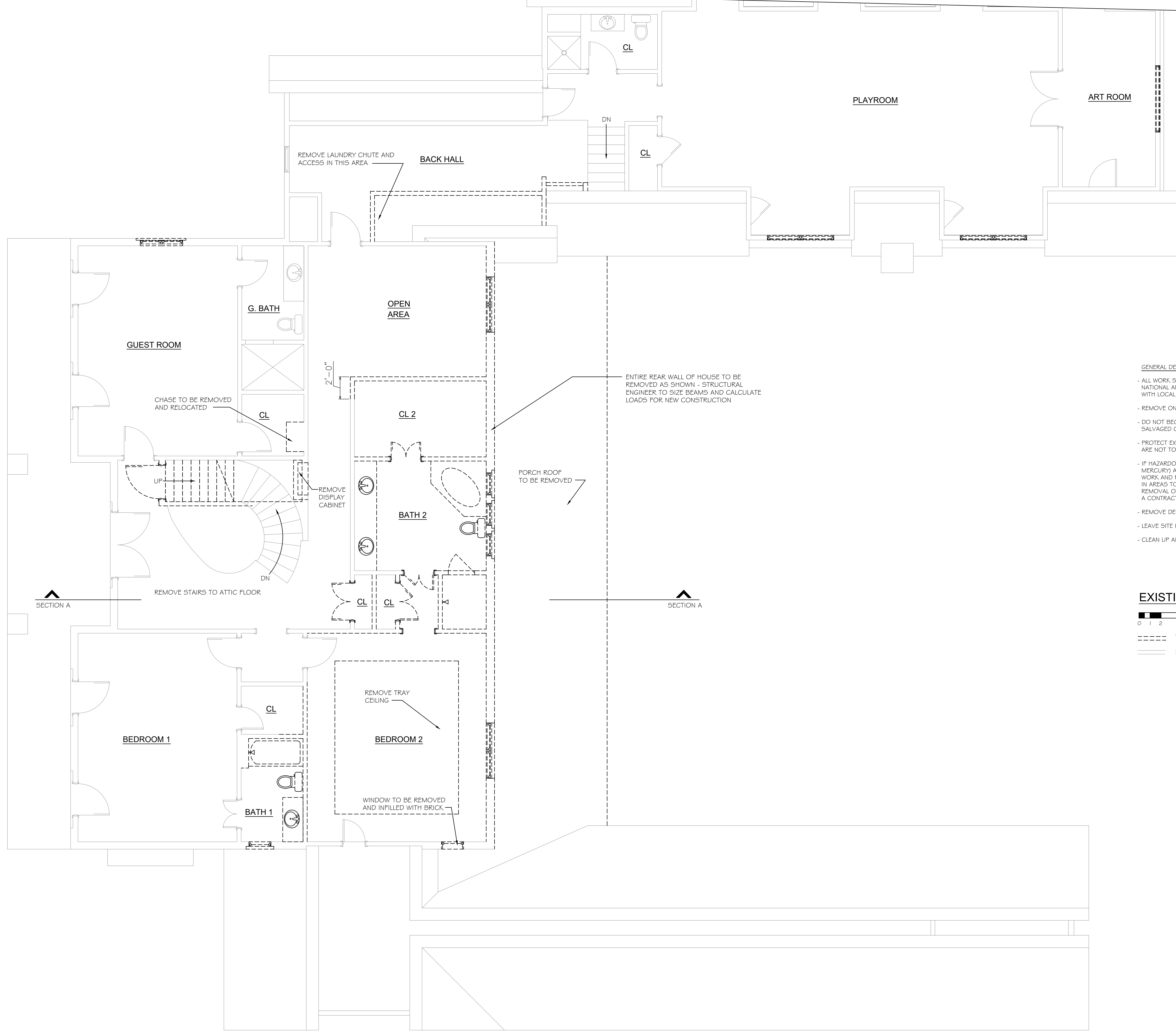
EXISTING MAIN FLOOR PLAN

D1



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- GENERAL DEMOLITION NOTES:**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES, REGULATIONS, AND IBC 2018 WITH LOCAL AMENDMENTS. OBTAIN REQUIRED PERMITS.
 - REMOVE ONLY AREAS INDICATED.
 - DO NOT BEGIN DEMOLITION UNTIL BUILT ELEMENTS TO BE SALVAGED OR RELOCATED HAVE BEEN REMOVED.
 - PROTECT EXISTING STRUCTURES AND OTHER ELEMENTS THAT ARE NOT TO BE DEMOLISHED.
 - IF HAZARDOUS MATERIALS (LEAD, ASBESTOS, PCB'S AND MERCURY) ARE DISCOVERED DURING DEMOLITION, STOP WORK AND NOTIFY OWNER AND DESIGNER. TEST FOR LEAD PAINT IN AREAS TO BE AFFECTED PRIOR TO CONSTRUCTION. REMOVAL OF ANY HAZARDOUS MATERIAL MUST BE DONE BY A CONTRACTOR OR COMPANY CERTIFIED TO DO THIS REMOVAL.
 - REMOVE DEBRIS AND TRASH FROM SITE.
 - LEAVE SITE IN CLEAN CONDITION, READY FOR FURTHER WORK.
 - CLEAN UP ANY SPILLS OR WIND BLOWN DEBRIS FROM SITE.

EXISTING UPPER FLOOR PLAN

0 1 2 4 1/4" = 1'-0"

--- TO BE DEMOLISHED
— EXISTING TO REMAIN

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EXISTING UPPER FLOOR PLAN

D2

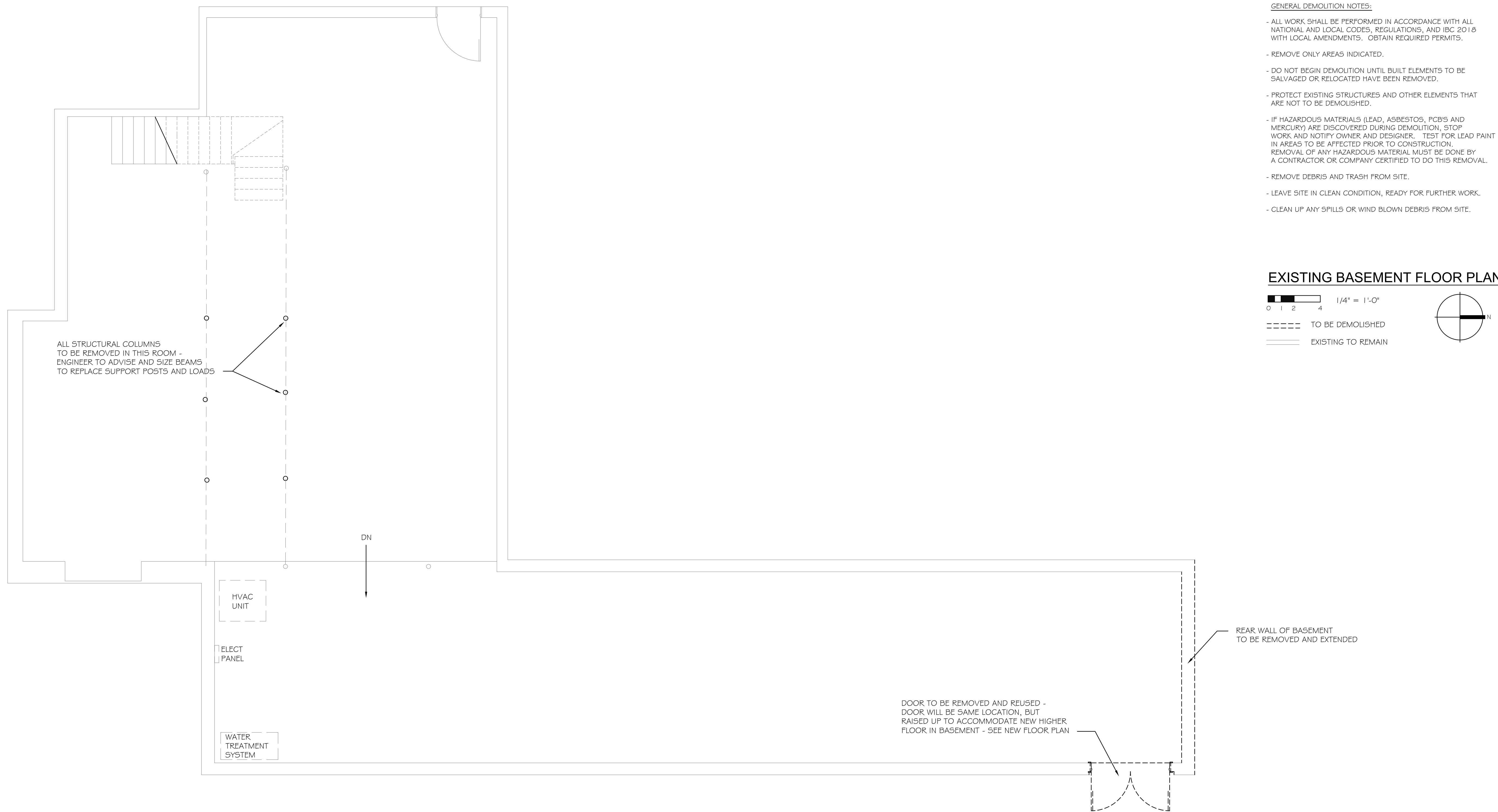


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EXISTING BASEMENT FLOOR PLAN

D3

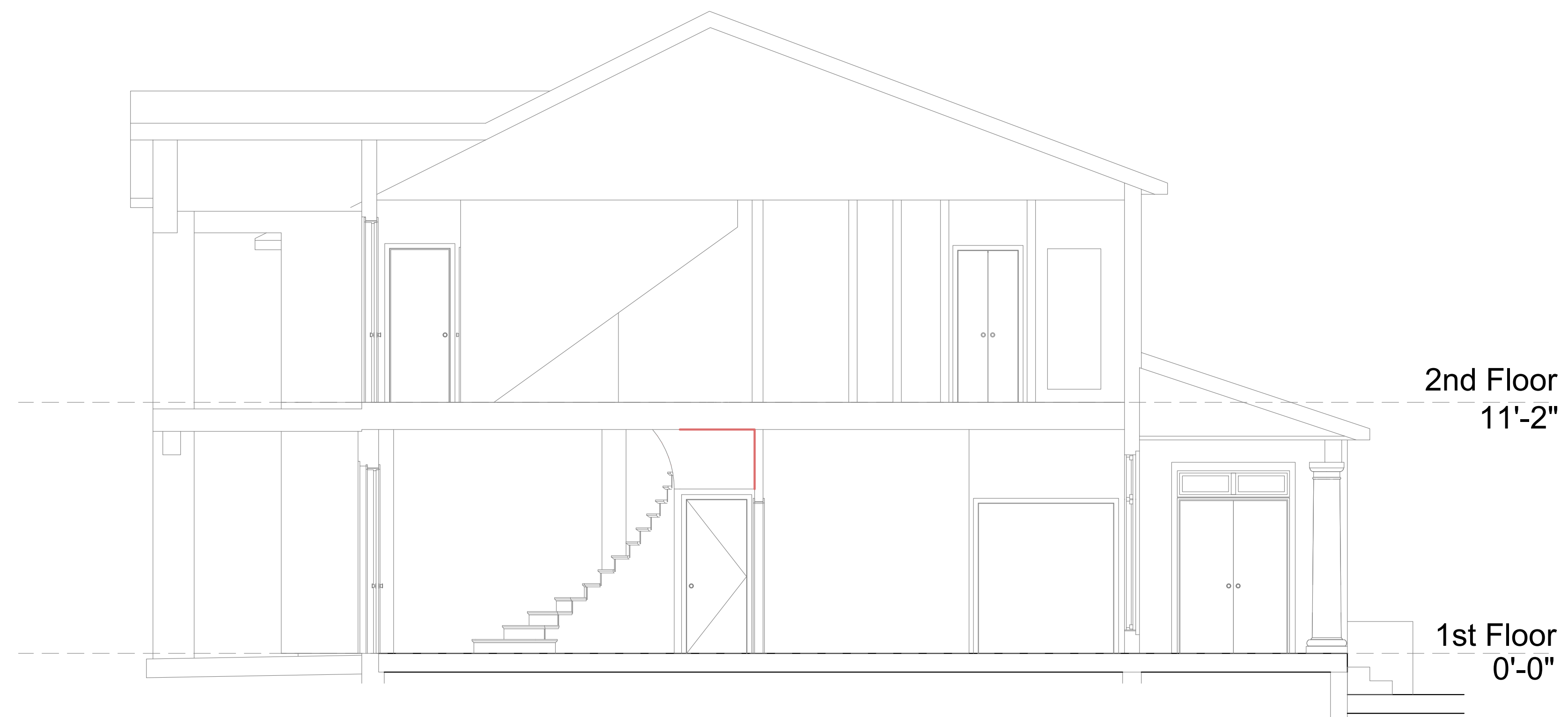
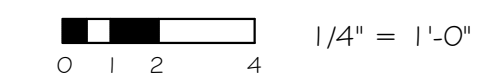


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EXISTING NORTH ELEVATION INSIDE POOL AREA



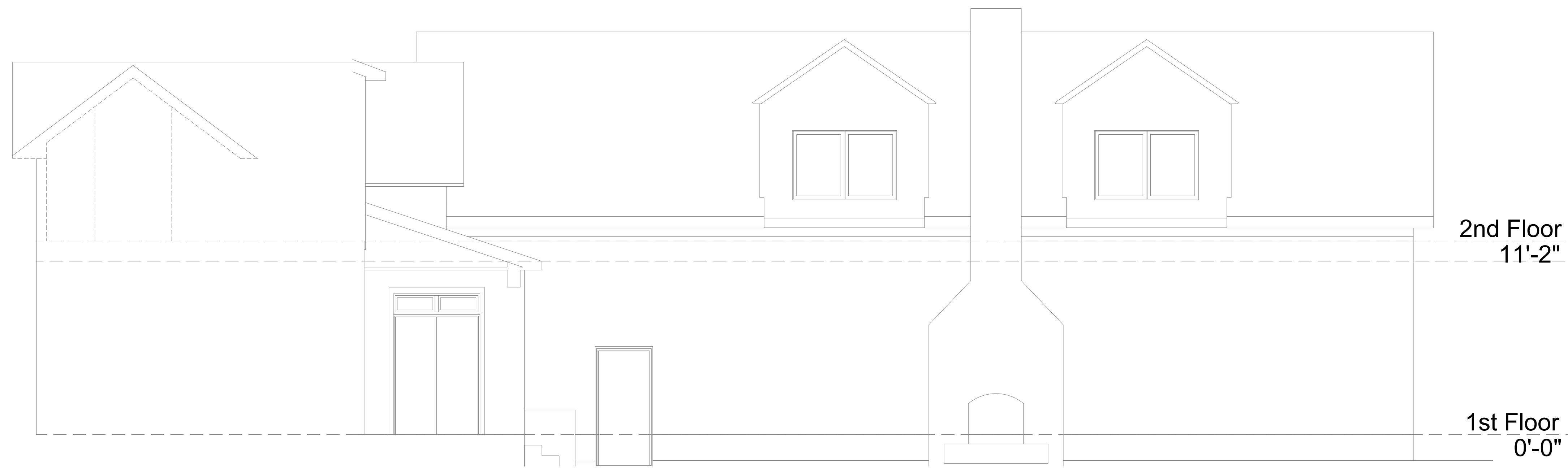
SECTION A



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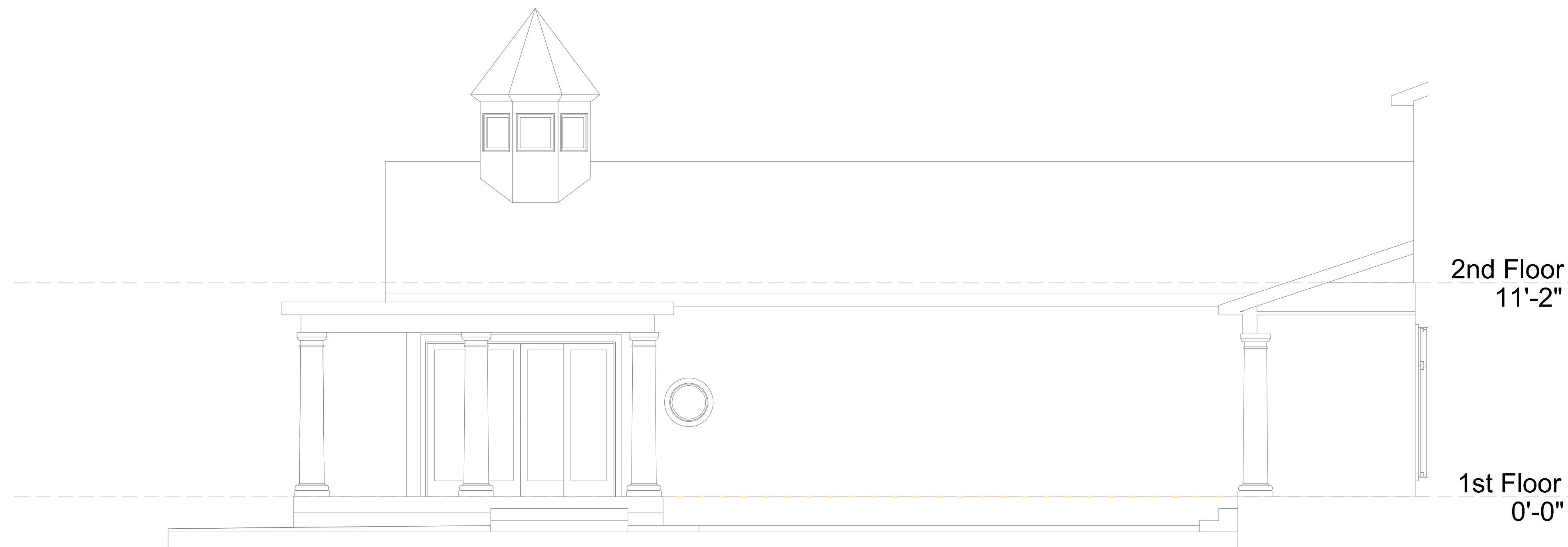
EXISTING EXTERIOR
ELEVATIONS AND
SECTION

D4



EXISTING EAST ELEVATION INSIDE POOL AREA

0 1 2 4 1/4" = 1'-0"



EXISTING WEST ELEVATION INSIDE POOL AREA

0 1 2 4 1/4" = 1'-0"



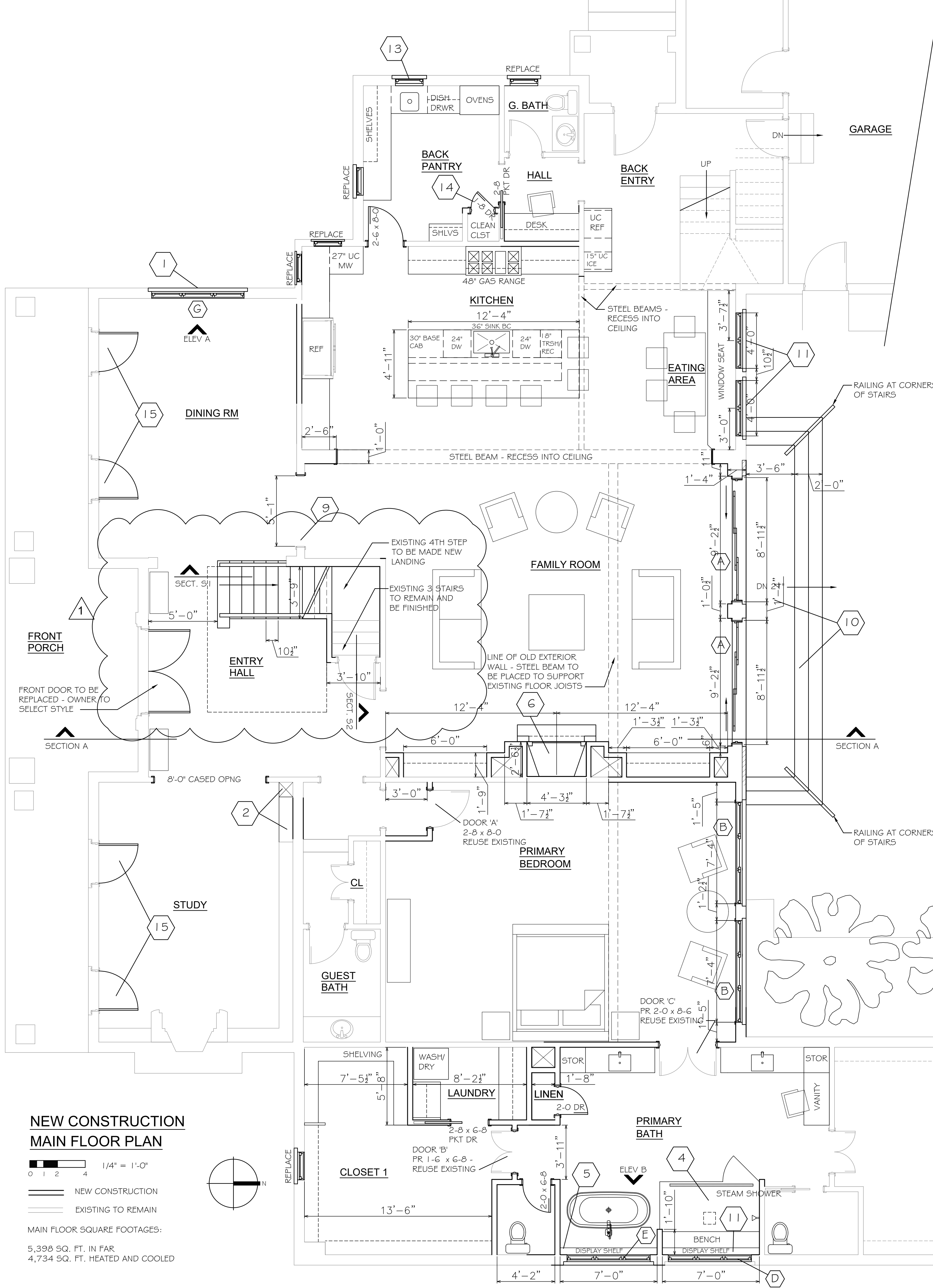
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EXISTING EXTERIOR
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- ALL DIMENSIONS ARE TO BE READ OR CALCULATED AND NEVER SCALED. DIMENSIONS SHOWN ARE FROM FACE OF FINISH, UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN FROM AN EXISTING WALL ARE FROM FACE OF EXISTING FINISH OF THAT WALL.
- ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE ADJUSTMENT AND VERIFICATION OF ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A WELL CONSTRUCTED AND SAFE STRUCTURE.
- IN AREAS WHERE EXPOSED OR IN AREAS OF NEW CONSTRUCTION, INSTALL INSULATION (LOOSE FILL, BATT OR LOW VOC) FOR THE FOLLOWING R-VALUES:
 ATTIC: R-49
 VAULTED CEILINGS: R-38
 EXTERIOR WALLS: R-19
 BAND JOIST: R-30
 FLOORS OVER UNHEATED SPACES: R-25
 BASEMENT WALLS: R-12
- CAULK AROUND DOORS, WINDOWS AND ALL OTHER OPENINGS OF EXTERIOR WALLS OF HEATED AREA.
- THE GC SHALL COORDINATE THE LOCATION AND INSTALLATION OF ALL BUILDING SYSTEMS AND EQUIPMENT. THE GC SHALL COORDINATE WITH ALL BUILDING TRADES TO ASSURE ALL REQUIRED CLEARANCES FOR OPERATIONS AND MAINTENANCE OF ALL EQUIPMENT AS REQUIRED BY CODE.
- ALL DOOR AND WINDOW OPENINGS ARE CENTERED ON WALL OR 4" FROM CORNER UNLESS OTHERWISE SPECIFIED.
- ALL NEW WINDOW SIZES BASED PELLA LIFESTYLE WINDOWS AND DOORS.
- VERIFY USE OF TEMPERED GLASS AS REQUIRED BY LOCAL CODES BEFORE ORDERING WINDOWS AND DOORS.

KEYNOTES:

1. INFILL AREA WHERE WINDOW IS REMOVED OR WHERE PART OF WINDOW IS REMOVED WITH WALL AND EXTERIOR PAINTED BRICK.
2. FILL IN WALL IN THIS AREA. BUILD SHELVING AND INFILL PANEL TO MATCH EXISTING SHELVING IN STUDY.
3. REMOVE ONE SHELF IN CLOSET AND REFINISH ENDS OF SHELVING TO REMAIN. INSTALL NEW DOOR INTO EXERCISE AREA.
4. STEAM SHOWER WITH ZERO ENTRY FLOOR. TEMPERED GLASS ENCLOSURE.
5. HALF HEIGHT DISPLAY WALL AT OUTSIDE WALL OF TUB AREA AND SHOWER. TOP OF WALL WILL ALIGN WITH SILL PLACEMENT OF WINDOW OVER TUB.
6. NEW VENTLESS GAS FIREPLACE. 42" WIDE MARQUEE FIREPLACE SHOWN, WITH STONE MANTEL SURROUND. SEE INTERIOR ELEVATIONS.
7. NEW KITCHEN LAYOUT BY OTHERS: ITEMS TO BE REUSED ARE: REFRIGERATOR, UC DISH DRAWER, UC MICROWAVE, DOUBLE OVEN TOWER WITH WARMING DRAWER AT BASE.
8. DROP DOWN AREA FOR SUPPORT BEAM - KEEP CEILING AS HIGH AS POSSIBLE. OPENING TO BE TRIMMED OUT LIKE CASIED OPENING.
9. NEW OPENINGS TO MATCH HEIGHT OF EXISTING, WITH THE TRANSOM WINDOWS REMOVED.
10. NEW LIMESTONE PAVER LANDING AND STEPS @ 7" EACH TO EXISTING POOL DECK.
11. ENTIRE WINDOW UNITS TO BE REPLACED IN EXISTING OPENING. WINDOW CONFIGURATION HAS CHANGED FROM EXISTING.
12. EXTEND EXISTING PATIO AS SHOWN, MATCH EXISTING MATERIALS. REUSE EXISTING COLUMNS IN NEW LOCATIONS TO SUPPORT ADDITIONAL ROOFING EXTENSION.
13. NEW WINDOW TO MATCH EXISTING WINDOW IN BACK PANTRY AND GUEST BATH.
14. BUILD NEW WALL AND INSTALL NEW DOOR TO CREATE CLEANING CLOSET.
15. DOORS TO BE REPLACED, USE EXISTING OPENING.

WINDOW/ DOOR SCHEDULE

TYPE	QTY.	DESCRIPTION	EXTERIOR TREATMENT	OPENING NOTES
A	2	FRAME OPENING IS 105"W x 96"H TRIPLE STACKING SLIDING PATIO DOORS 2X0 AND 02X CONFIGURATION	BRICK EXTERIOR WALL EXTERIOR TREATMENT TO MATCH EXISTING DOORS TEMPERED GLASS	NEW DOOR OPENING IN NEW BRICK WALL
B	6	2-6 x 7-6 CASEMENT WINDOW WITH 4" TRIM BETWEEN EACH UNIT. WINDOW SILL TO BE 4" ABOVE FINISHED FLOOR. EGRESS SIZED WINDOW	BRICK EXTERIOR WALL EXTERIOR TREATMENT TO MATCH EXISTING WINDOWS TEMPERED GLASS	NEW WINDOWS IN NEW BRICK WALL
C	1	2-8 x 8-0 FRENCH DOOR	BRICK EXTERIOR WALL EXTERIOR TREATMENT TO MATCH EXISTING DOORS TEMPERED GLASS	NEW DOOR IN NEW BRICK WALL
D	1	TRIPLE UNIT WINDOW, ALL FIXED, 1-11 x 1-11 OPENING SIZE IS 72" W AND 21" H	BRICK EXTERIOR WALL UNIT IN STEAM SHOWER - MARINE GRADE FINISH OR VINYL TEMPERED GLASS - NO MULLIONS	NEW WINDOW IN EXISTING BRICK WALL OPENING
E	1	TRIPLE UNIT WINDOW, CASEMENT WINDOWS, 1-11 x 4-5, MIDDLE WINDOW TO BE FIXED	BRICK EXTERIOR WALL TEMPERED GLASS	NEW WINDOW IN EXISTING BRICK WALL
F	1	SINGLE CASEMENT WINDOW 2-5 x 3-11, 2947	BRICK EXTERIOR WALL TEMPERED GLASS	NEW WINDOW IN NEW BRICK WALL
G	1	TRIPLE CASEMENT WINDOW, 2573, CENTER WINDOW TO BE FIXED	BRICK EXTERIOR WALL - MEASURED OPENING IN FIELD	NEW WINDOWS IN EXISTING BRICK WALL OPENING, WIDTH TO MATCH, HEIGHT IS NEW
H	1	OUTSWINGING BIFOLD DOORS WITH CENTRAL PARTING, EXISTING OPENING IS 9-9W x 8-0H	BRICK EXTERIOR WALL TEMPERED GLASS	NEW DOOR IN EXISTING BRICK WALL OPENING

GENERAL WINDOW NOTES:

- ALL INTERIOR WINDOW AND DOOR TRIM TO BE REPLACED.
- ALL WINDOW SIZES SHOWN ARE BASED ON PELLA LIFESTYLE SERIES WINDOWS AND DOORS.
- ALL NEW WINDOWS TO HAVE MUNTINS IN STYLE SHOWN ON ELEVATIONS.
- WINDOWS AND DOORS MARKED 'REPLACE' WILL BE REPLACED WITH NEW UNITS IN SIZES TO FIT EXISTING OPENINGS. ALL SIZES SHOULD BE FIELD VERIFIED.
- VERIFY USE OF TEMPERED GLASS PER LOCAL CODES BEFORE ORDERING. WINDOWS LISTED AS NEEDING TEMPERED GLASS ABOVE MEET CRITERIA REQUIREMENTS FOR IRC. LOCAL CODES MAY VARY.
- USE INSULATED GLASS WITH LOW E AND ARGON.

F.A.R. CALCULATIONS

LOT SIZE =	89,848.41 SQ. FT.
14% FAR ALLOWED:	12,578 SQ. FT.
MAIN FLOOR:	5,398 SQ. FT.
UPPER FLOOR:	4,084 SQ. FT.
TOTAL:	9,482 SQ. FT. 10.5%

NEW CONSTRUCTION MAIN FLOOR PLAN

0 1 2 4 1/4" = 1'-0"

— NEW CONSTRUCTION
 — EXISTING TO REMAIN

MAIN FLOOR SQUARE FOOTAGES:
 5,398 SQ. FT. IN FAR
 4,734 SQ. FT. HEATED AND COOLED

Additions and Renovations to the

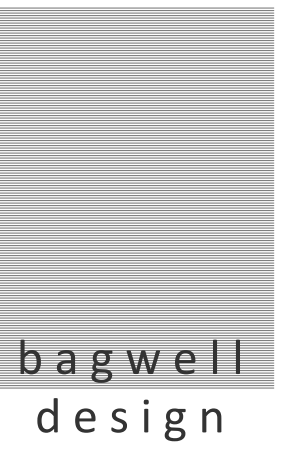
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NEW CONSTRUCTION MAIN FLOOR PLAN

A1



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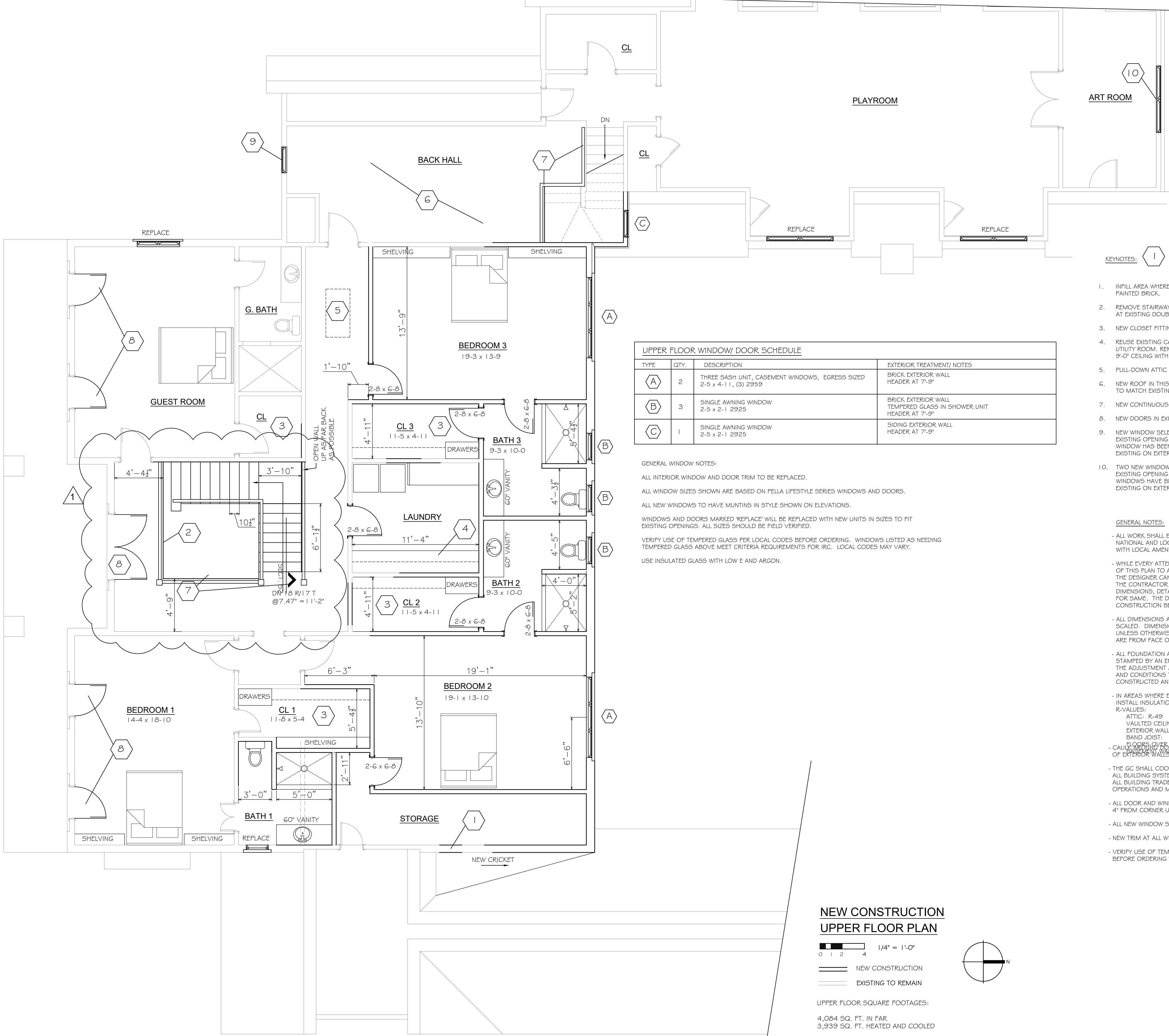
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UPPER FLOOR WINDOW/ DOOR SCHEDULE			
TYPE	QTY.	DESCRIPTION	EXTERIOR TREATMENT/ NOTES
(A)	2	THREE SASH UNIT, CASEMENT WINDOWS, EGRESS SIZED 2-5 x 4-1 1/2, (3) 2959	BRICK EXTERIOR WALL HEADER AT 7'-9"
(B)	3	SINGLE AWNING WINDOW 2-5 x 2-1 2925	BRICK EXTERIOR WALL TEMPERED GLASS IN SHOWER UNIT HEADER AT 7'-9"
(C)	1	SINGLE AWNING WINDOW 2-5 x 2-1 2925	SIDING EXTERIOR WALL HEADER AT 7'-9"

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 VERIFY USE OF TEMPERED GLASS PER LOCAL CODES BEFORE ORDERING. WINDOWS LISTED AS NEEDING TEMPERED GLASS ABOVE MEET CRITERIA REQUIREMENTS FOR IRC. LOCAL CODES MAY VARY.
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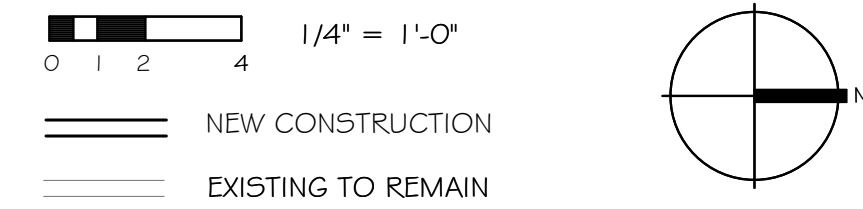
KEYNOTES:

- INFILL AREA WHERE WINDOW IS REMOVED WITH WALL AND EXTERIOR PAINTED BRICK.
- REMOVE STAIRWAY UP TO ATTIC. BUILD BACK EDGE OF STAIRWELL AT EXISTING DOUBLE GLULAM.
- NEW CLOSET FITTINGS TO BE PROVIDED BY CLOSET COMPANY.
- REUSE EXISTING CABINETS FROM KITCHEN ALONG THIS WALL OF UTILITY ROOM. REMOVE GLASS UPPER CABINETS TO FIT IN 9'-0" CEILING WITH TRIM AT CEILING.
- PULL-DOWN ATTIC ACCESS STAIRS.
- NEW ROOF IN THIS AREA - RAISE CEILING UP TO APPROXIMATELY 8'-0" TO MATCH EXISTING HALLWAY CEILING HEIGHT.
- NEW CONTINUOUS RAILING AT NEW STAIR.
- NEW DOORS IN EXISTING OPENING. OWNER TO SELECT DOORS.
- NEW WINDOW SELECTED FOR THIS AREA. WIDTH OF NEW WINDOW TO FIT IN EXISTING OPENING. NEW WINDOW WILL BE SQUARED OFF AT TOP, RATHER THAN ARCHED. WINDOW HAS BEEN FIELD MEASURED. INSTALL NEW CEMENT FIBER BOARD SIDING TO MATCH EXISTING ON EXTERIOR WALL.
- TWO NEW WINDOWS SELECTED FOR THIS AREA. WIDTH OF WINDOWS TO FIT IN EXISTING OPENING. NEW WINDOWS WILL MATCH WINDOW IN ART ROOM IN WEST WALL DORMER. WINDOWS HAVE BEEN FIELD MEASURED. INSTALL NEW CEMENT FIBER BOARD SIDING TO MATCH EXISTING ON EXTERIOR WALL.

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- NEW TRIM AT ALL WINDOWS AND DOORS.
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NEW CONSTRUCTION UPPER FLOOR PLAN



UPPER FLOOR SQUARE FOOTAGES:
 4,084 SQ. FT. IN FAR
 3,939 SQ. FT. HEATED AND COOLED

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NEW CONSTRUCTION UPPER FLOOR PLAN

A2



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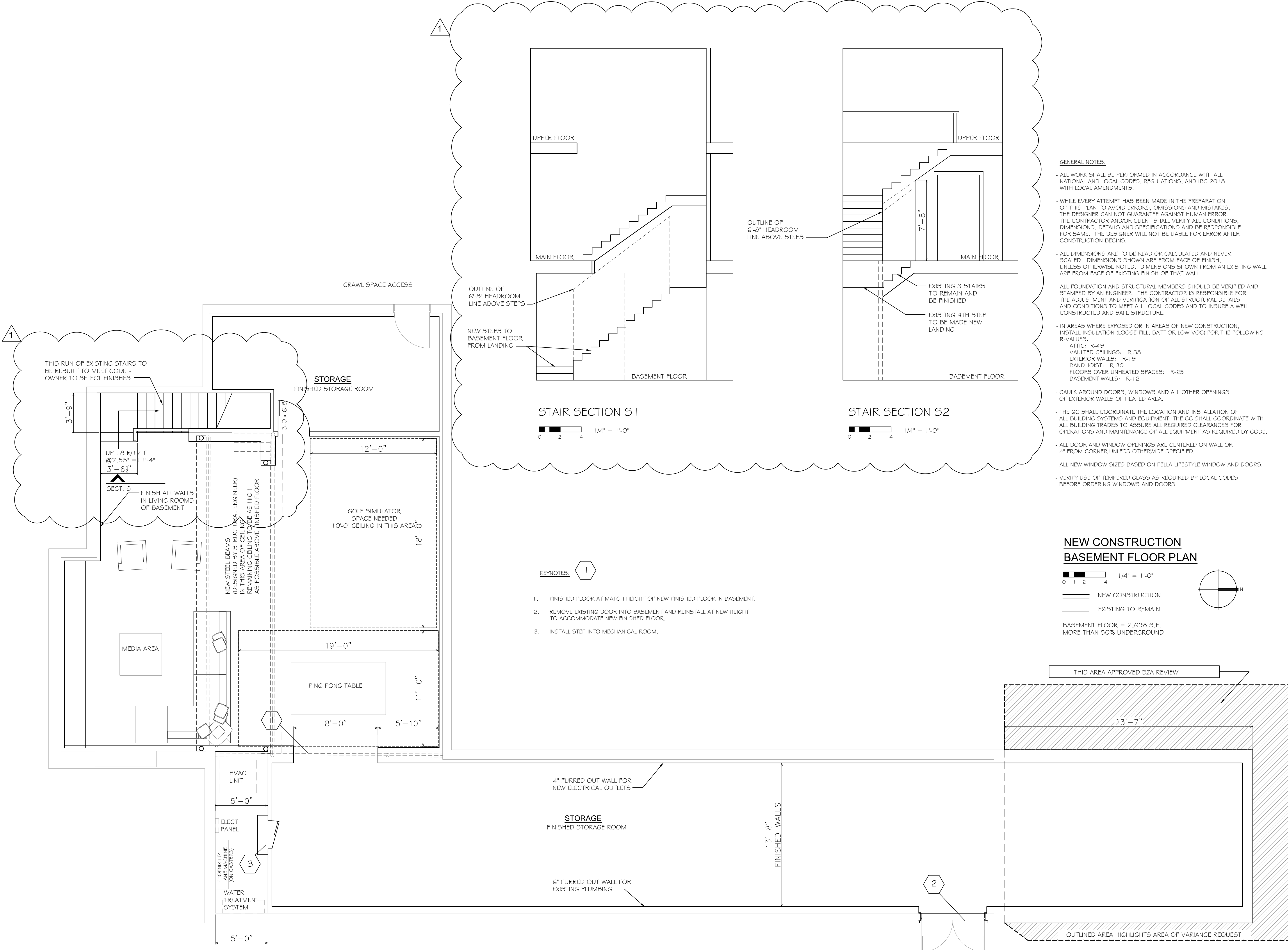
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NEW CONSTRUCTION
BASEMENT FLOOR PLAN

A3



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 BASEMENT WALLS: R-12
 - CAULK AROUND DOORS, WINDOWS AND ALL OTHER OPENINGS OF EXTERIOR WALLS OF HEATED AREA.
 - THE GC SHALL COORDINATE THE LOCATION AND INSTALLATION OF ALL BUILDING SYSTEMS AND EQUIPMENT. THE GC SHALL COORDINATE WITH ALL BUILDING TRADES TO ASSURE ALL REQUIRED CLEARANCES FOR OPERATIONS AND MAINTENANCE OF ALL EQUIPMENT AS REQUIRED BY CODE.
 - ALL DOOR AND WINDOW OPENINGS ARE CENTERED ON WALL OR 4" FROM CORNER UNLESS OTHERWISE SPECIFIED.
 - ALL NEW WINDOW SIZES BASED ON FELLA LIFESTYLE WINDOW AND DOORS.
 - VERIFY USE OF TEMPERED GLASS AS REQUIRED BY LOCAL CODES BEFORE ORDERING WINDOWS AND DOORS.

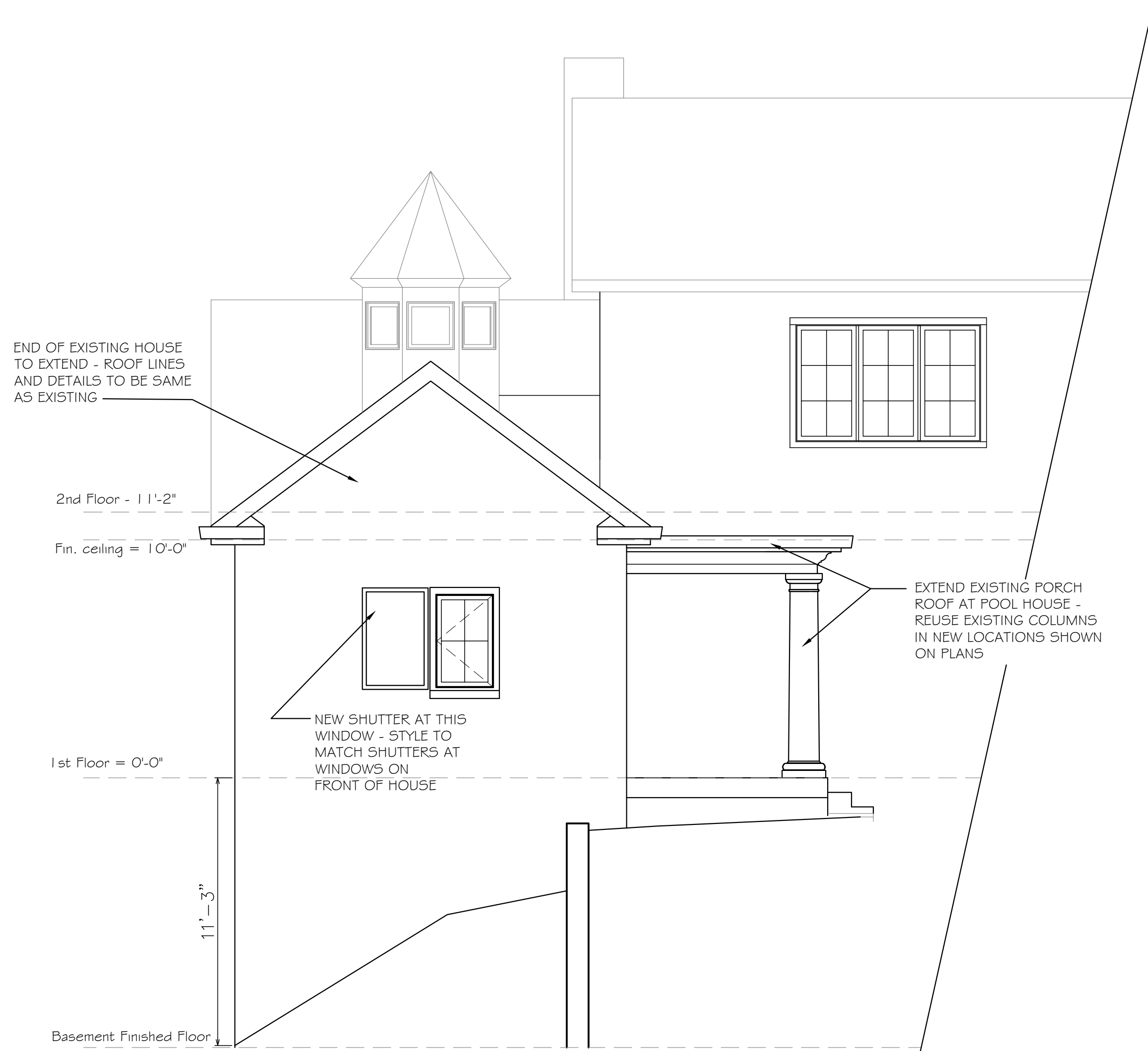
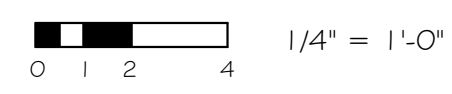


Jennifer Bagwell
residential designer
5031 Marchant Drive
Nashville, TN 37211
615.305.7205
bagwelldesign@bellsouth.net

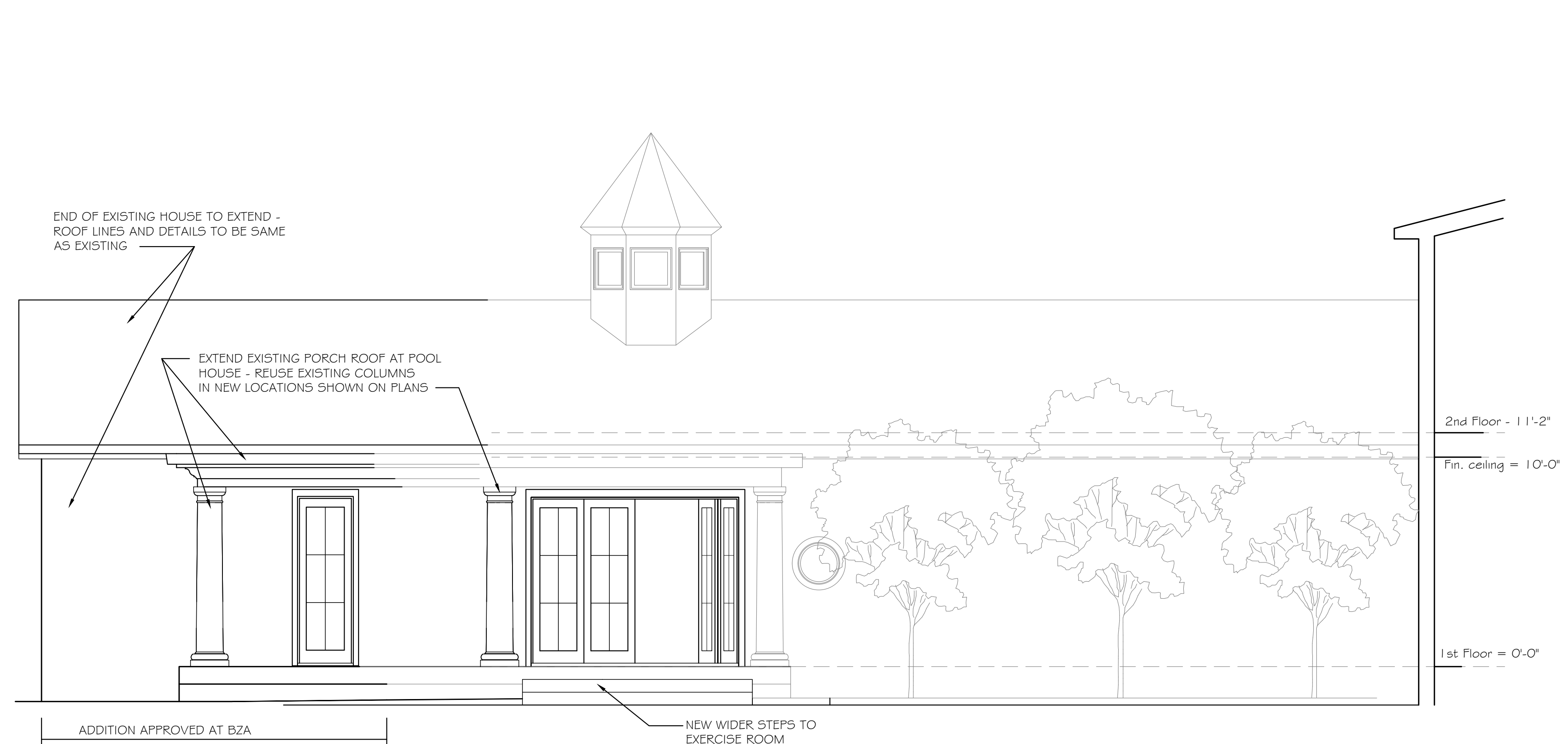
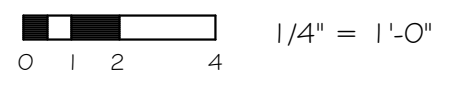
Additions and Renovations to the
Wakefield Residence
1108 Overton Lea Road, Nashville, TN 37220



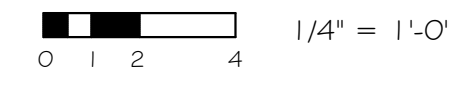
NEW NORTH ELEVATION AT MAIN HOUSE BODY



NEW NORTH ELEVATION AT POOL BATH WING



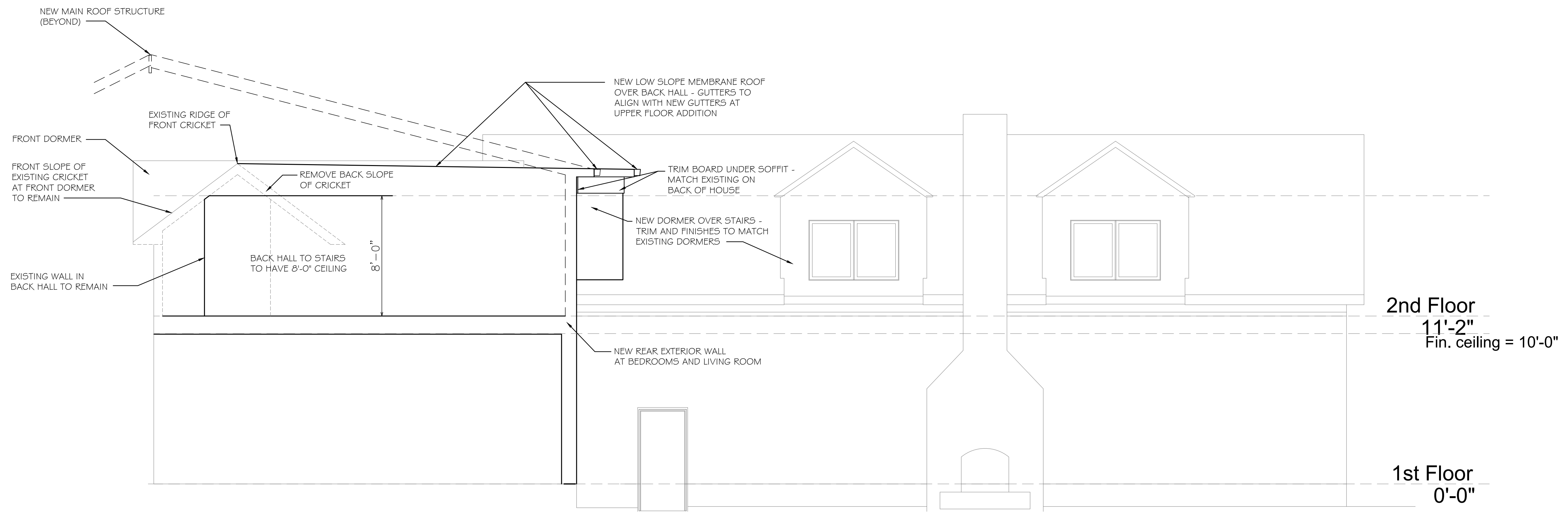
NEW WEST ELEVATION INSIDE POOL AREA



Updated Working Set	02.27.24
Variance Sub.	10.17.23
For Permit	07.28.23
For Pricing	06.09.23
For Review	06.01.23
For Review	05.16.23

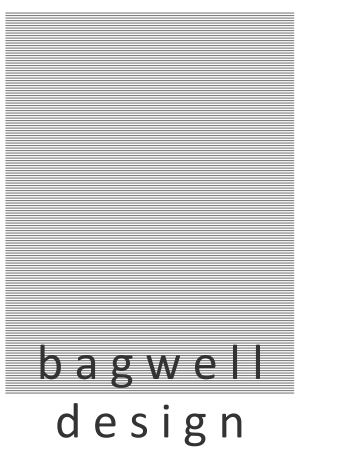
NEW EXTERIOR ELEVATIONS AND SECTION

E1



NEW EAST ELEVATION/PARTIAL SECTION INSIDE POOL AREA

0 1 2 4 1/4" = 1'-0"



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Nashville, TN 37211
615-305-7205
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Additions and Renovations to the

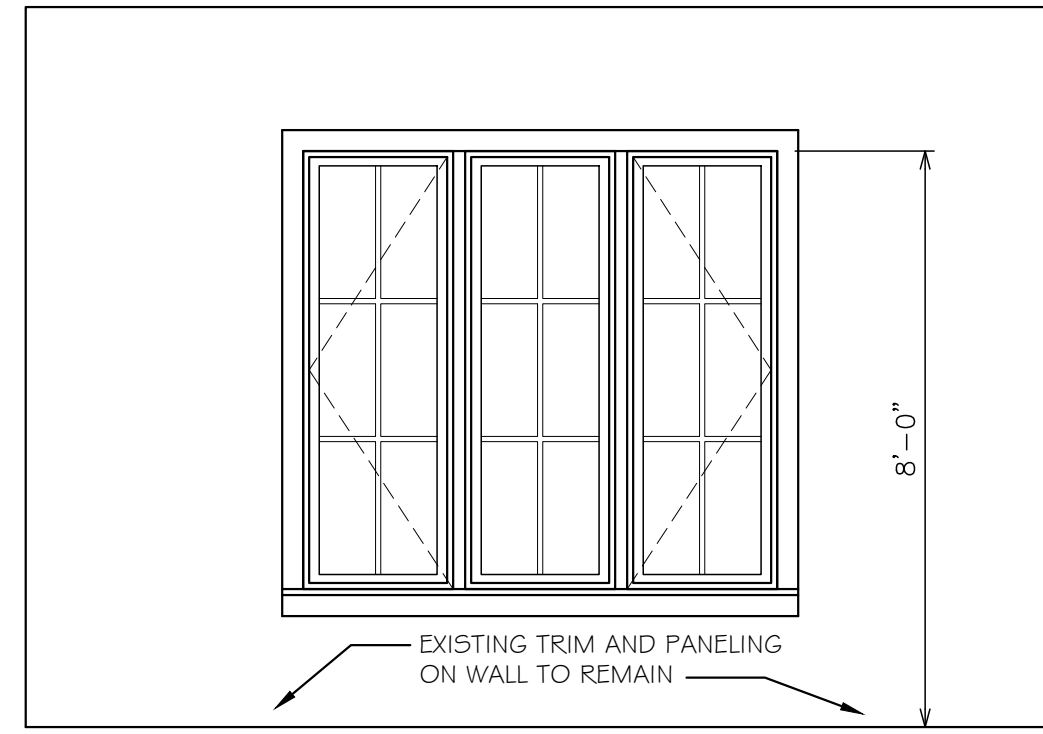
Wakefield Residence

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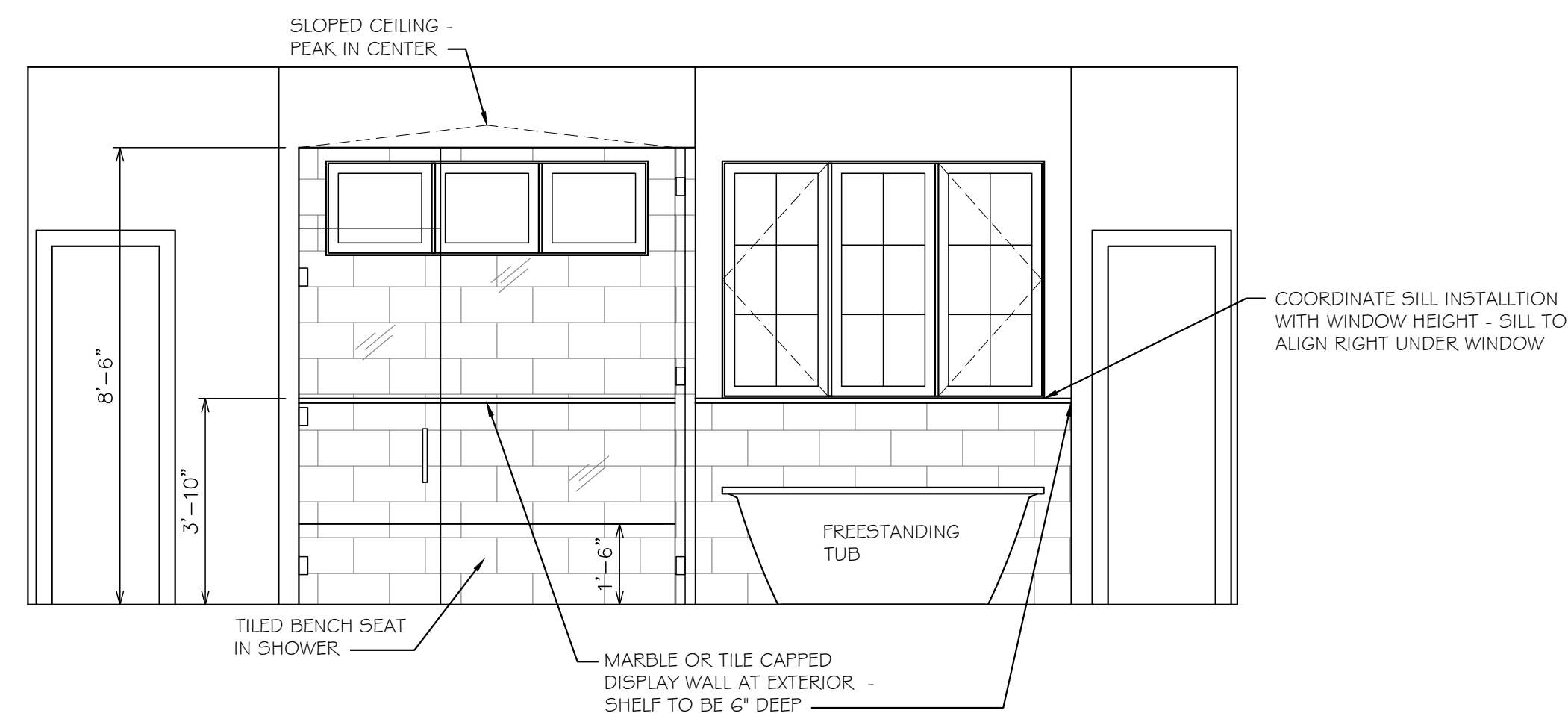
NEW EXTERIOR ELEVATIONS

E2



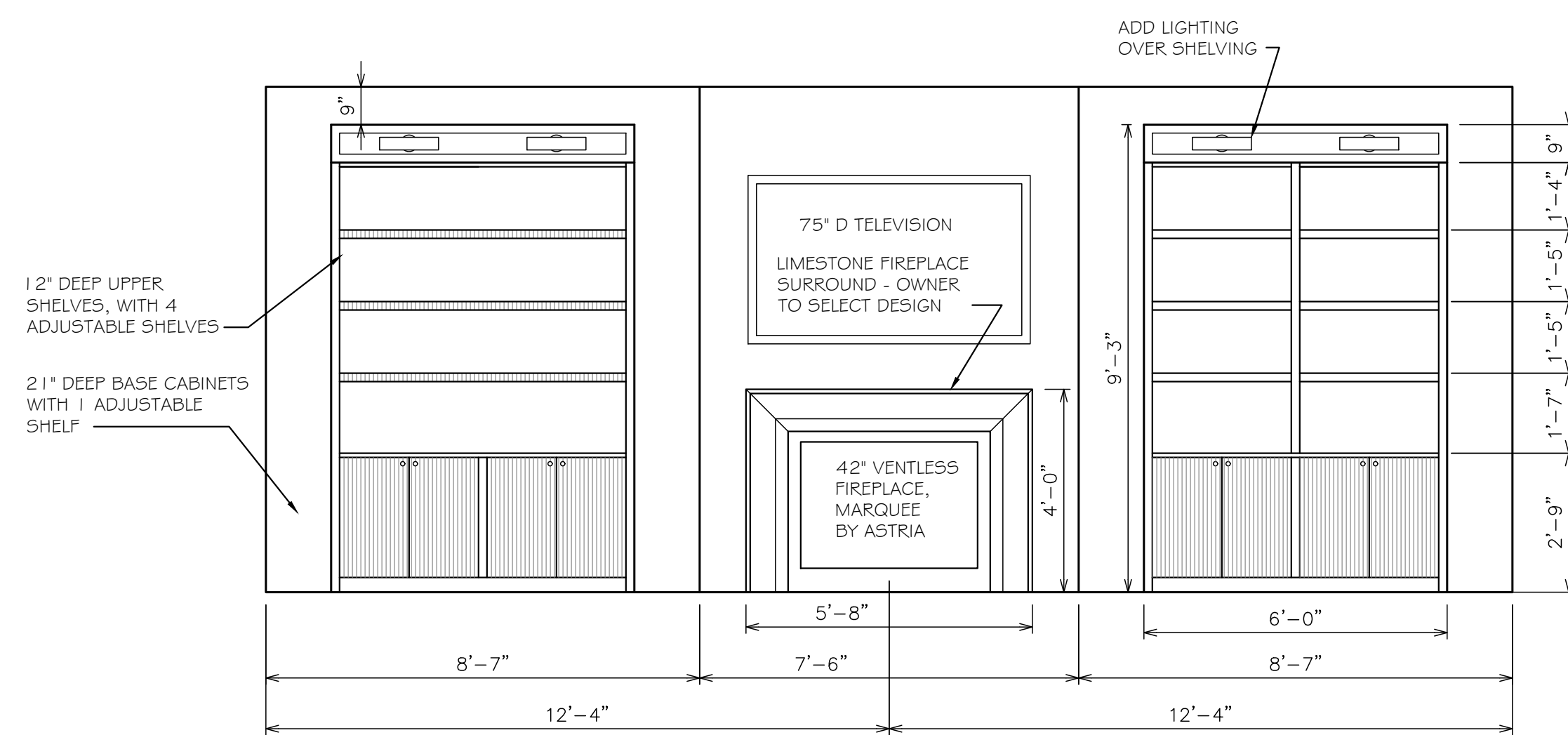
ELEV A DINING ROOM - NEW WINDOW

3/8" = 1'-0"
0 6" 1' 2' 3'



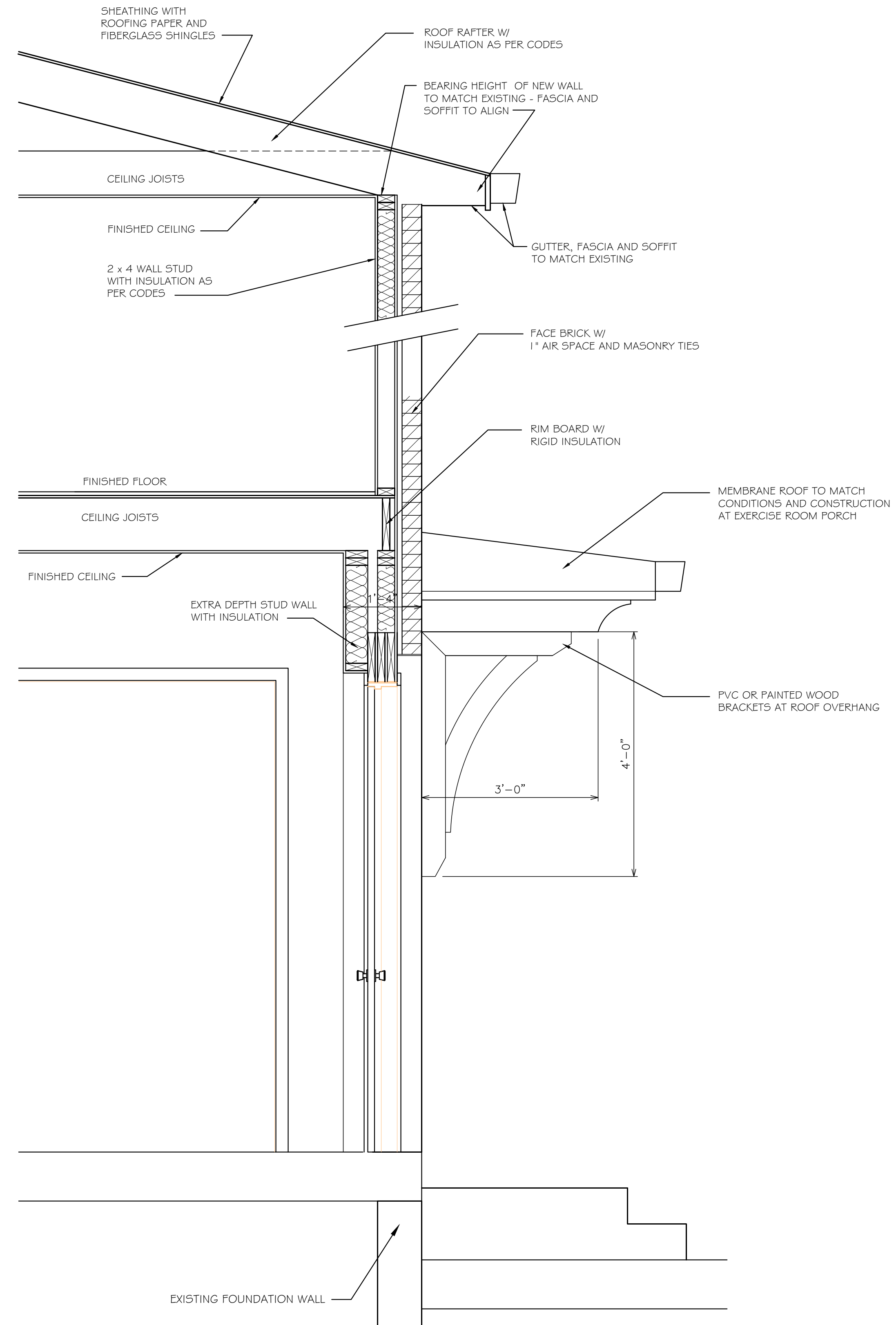
ELEV B STEAM SHOWER AND TUB AREA IN PRIMARY BATH

3/8" = 1'-0"
0 6" 1' 2' 3'



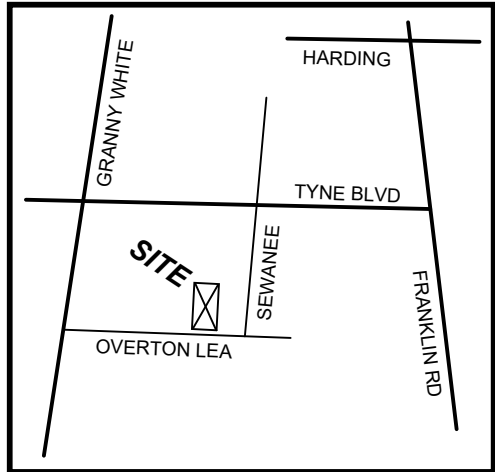
ELEV C FIREPLACE IN FAMILY ROOM

3/8" = 1'-0"
0 6" 1' 2' 3'

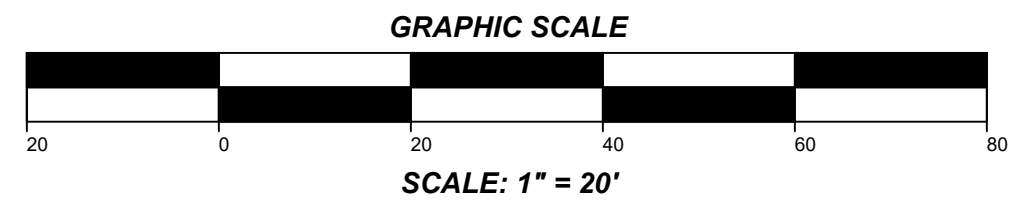


WALL SECTION A AT BRICK EXTERIOR

NOT TO SCALE



VICINITY MAP



LEGEND

- BOUNDARY LINE
- IRON PIN NEW
- IRON PIN OLD
- MONUMENT OLD
- EASEMENT LINE
- POWER POLE
- IP(N)
- IP(O)
- MON(O)

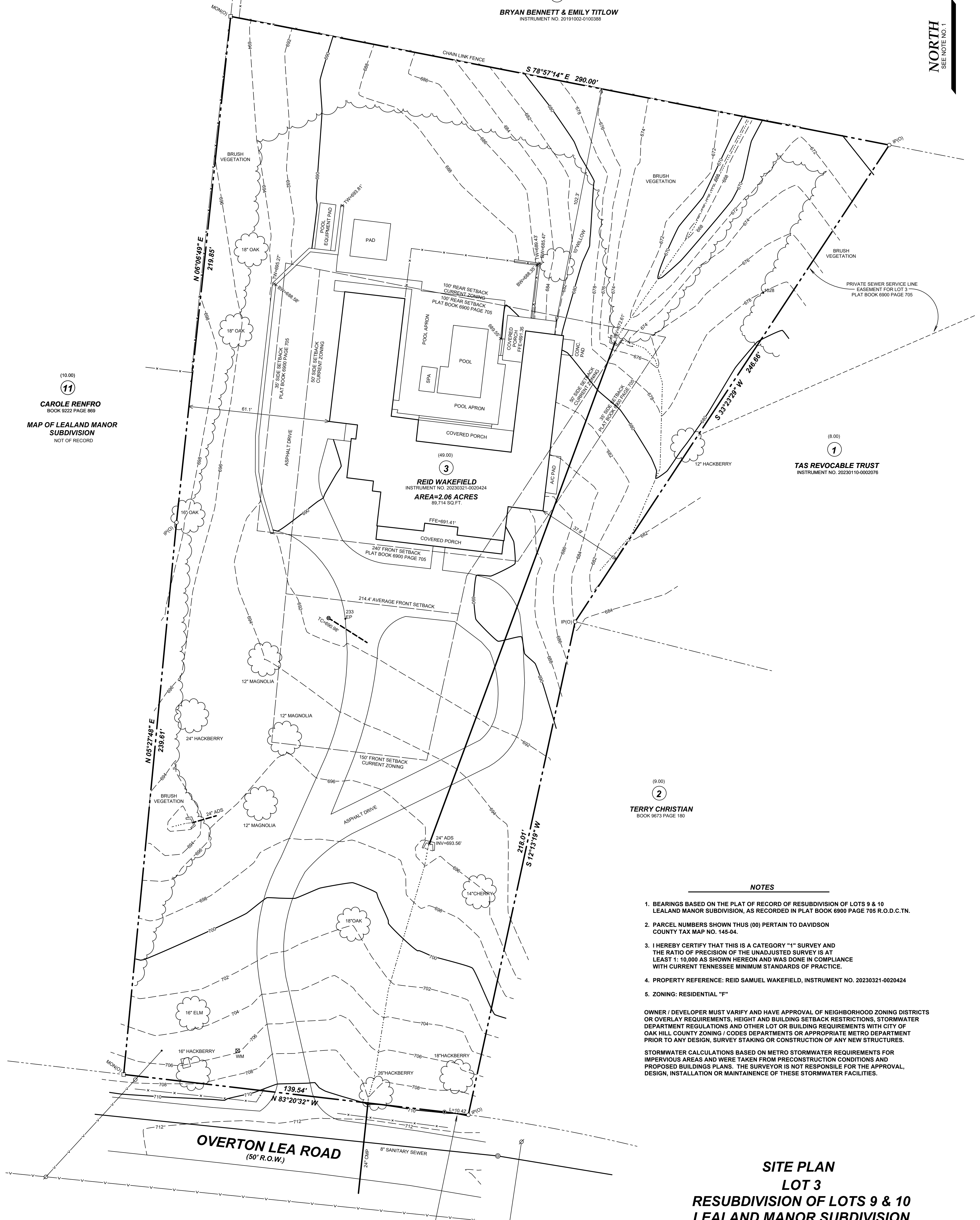
NORTH
SEE NOTE NO. 1

(10.00)
11
CAROLE RENFRO
BOOK 9222 PAGE 989
MAP OF LEALAND MANOR
SUBDIVISION
NOT OF RECORD

(7.00)
1
BRYAN BENNETT & EMILY TITLOW
INSTRUMENT NO. 20191002-0100388

(8.00)
1
TAS REVOCABLE TRUST
INSTRUMENT NO. 20230110-0002076

(9.00)
2
TERRY CHRISTIAN
BOOK 9673 PAGE 180



NOTES

1. BEARINGS BASED ON THE PLAT OF RECORD OF RESUBDIVISION OF LOTS 9 & 10 LEALAND MANOR SUBDIVISION, AS RECORDED IN PLAT BOOK 6900 PAGE 705 R.O.D.C.TN.
2. PARCEL NUMBERS SHOWN THUS (00) PERTAIN TO DAVIDSON COUNTY TAX MAP NO. 145-04.
3. I HEREBY CERTIFY THAT THIS IS A CATEGORY "11" SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1:10,000 AS SHOWN HEREON AND WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.
4. PROPERTY REFERENCE: REID SAMUEL WAKEFIELD, INSTRUMENT NO. 20230321-0020424
5. ZONING: RESIDENTIAL "F"

OWNER / DEVELOPER MUST VERIFY AND HAVE APPROVAL OF NEIGHBORHOOD ZONING DISTRICTS OR OVERLAY REQUIREMENTS, HEIGHT AND BUILDING SETBACK RESTRICTIONS, STORMWATER DEPARTMENT REGULATIONS AND OTHER LOT OR BUILDING REQUIREMENTS WITH CITY OF OAK HILL COUNTY ZONING / CODES DEPARTMENTS OR APPROPRIATE METRO DEPARTMENT PRIOR TO ANY DESIGN, SURVEY STAKING OR CONSTRUCTION OF ANY NEW STRUCTURES.

STORMWATER CALCULATIONS BASED ON METRO STORMWATER REQUIREMENTS FOR IMPERVIOUS AREAS AND WERE TAKEN FROM PRECONSTRUCTION CONDITIONS AND PROPOSED BUILDINGS PLANS. THE SURVEYOR IS NOT RESPONSIBLE FOR THE APPROVAL, DESIGN, INSTALLATION OR MAINTENANCE OF THESE STORMWATER FACILITIES.

SITE PLAN
LOT 3
RESUBDIVISION OF LOTS 9 & 10
LEALAND MANOR SUBDIVISION
PLAT BOOK 6900 PAGE 705
FOR
REID WAKEFIELD
C/O MCKENZIE CONSTRUCTION

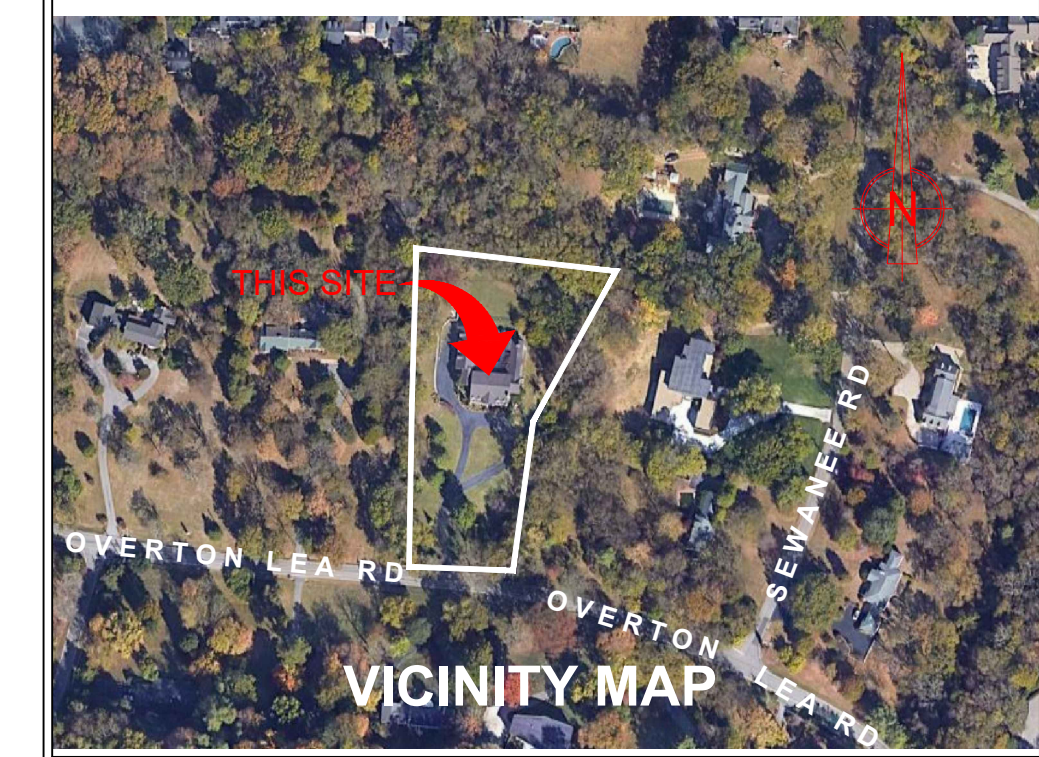
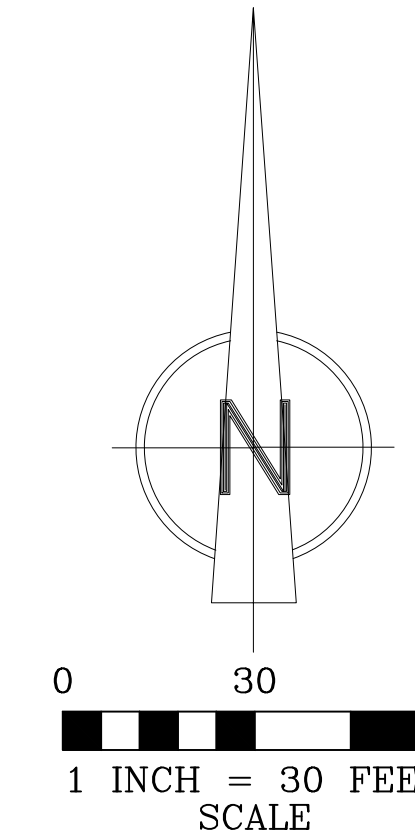
PROPERTY ADDRESS:
1108 OVERTON LEA ROAD
NASHVILLE, TN. 37220
34TH COUNCIL DISTRICT
NASHVILLE, DAVIDSON COUNTY
TENNESSEE
DATE: SEPT. 12, 2023



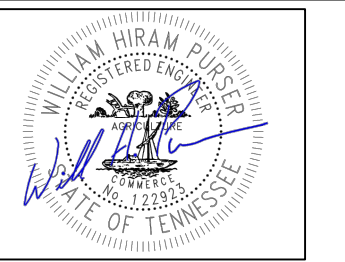
JASON F. SMITH TN. RLS NO. 1961
SMITH LAND SURVEYING, LLC
7849 LAMPLEY ROAD PRISM SPRINGS, TN. 38476
TEL: (615) 668-3500
SMITHLANDSURVEYINGLLC@GMAIL.COM

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	700'	10.42'	10.42'	N 82° 57' 23" W

LINE TABLE (PROPERTY LINE)		
LINE	BEARING	DISTANCE
L1	N 83° 20' 32" W	139.54'



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Alliance Engineering & Consulting, LLC



William H. Purser, P.E.
Alliance Engineering & Consulting, LLC
480 Duke Drive, Suite 120
Franklin, TN 37067
william@alliance.com

DATE: 2/29/24

PROJECT:

1108 OVERTON LEA
CIVIL SITE PLAN

LOCATION:

1108 OVERTON LEA RD.,
DAVIDSON COUNTY,
NASHVILLE, TENNESSEE

OWNER:

SHEET CONTENT:

EXISTING BOUNDARY AND
TOPOGRAPHIC SURVEY

DATE

REVIEWED BY

DATE

CAD BY

REV. NO.

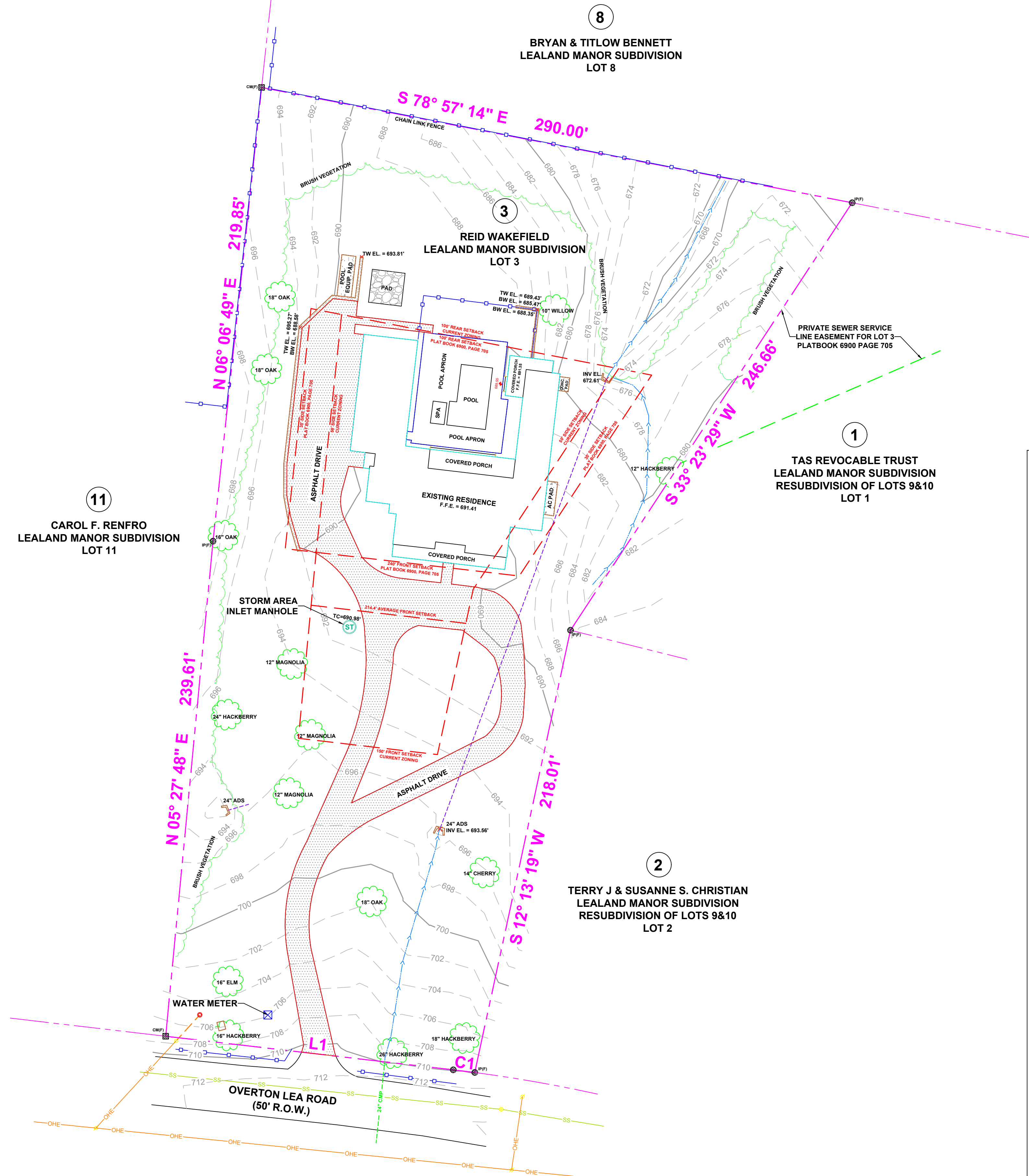
REMARKS:

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SHEET CONTENT:

C1

1" = 30'



IMPERVIOUS AREA LEGEND	
	ROOFED AREA
	DRIVEWAYS / WALKS
	POOL / POOL DECKS
	UNCOVERED PORCH / DECK
	RET. WALLS/ MISC. HARDSCAPE / EQ. PAD / OTHER IIA

NOTES:

SITE SURVEY INFORMATION:

FIELD RUN SURVEY PERFORMED BY:

SMITH LAND SURVEYING, LLC
7849 LAMPLEY ROAD
PRIMM SPRINGS, TN 38476

SURVEY LOCATION:

1108 OVERTON LEA ROAD
DAVIDSON COUNTY,
TENNESSEE

DATE OF SURVEY:

SEPTEMBER 12TH, 2023

EXISTING SITE INFORMATION:

ZONING:

TOTAL SITE AREA:

ZONE - F
89,714 S.F.

DRIVEWAYS/WALKS:

PATIOS/UNCOVERED PORCHES/DECKS: 9,908 S.F.
RET. WALLS/MISC HARDSCAPE/EQUIP. PADS/OTHER IA: 73 S.F.
POOL/SPA/POOL DECKS: 563 S.F.
ROOFED AREA OF ALL BUILDINGS: 2,270 S.F.
6,282 S.F.

TOTAL EXISTING IMPERVIOUS AREA:

19,096 S.F.

TOTAL EXISTING I.A. / TOTAL LOT SF:

19,096 SF / 89,714 S.F. = 21.29%

SETBACKS:

FRONT = 150' FRONT SETBACK
SIDE = 50' SIDE SETBACK
REAR = 100' REAR SETBACK

MAX STRUCTURE HEIGHT:

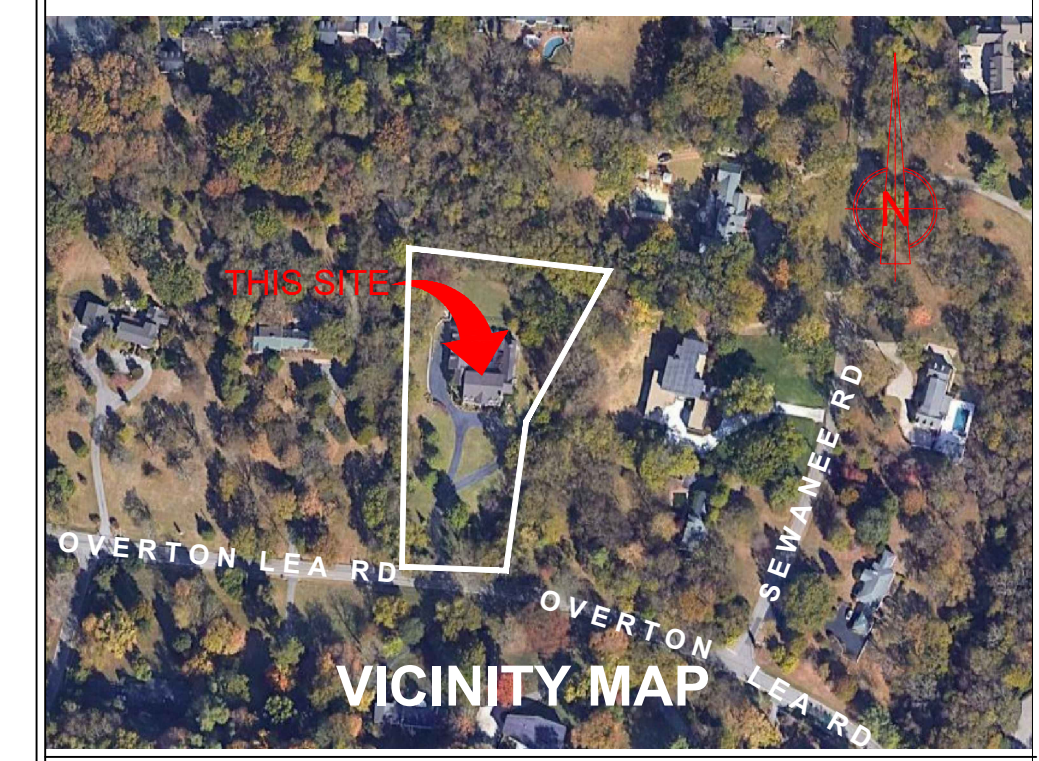
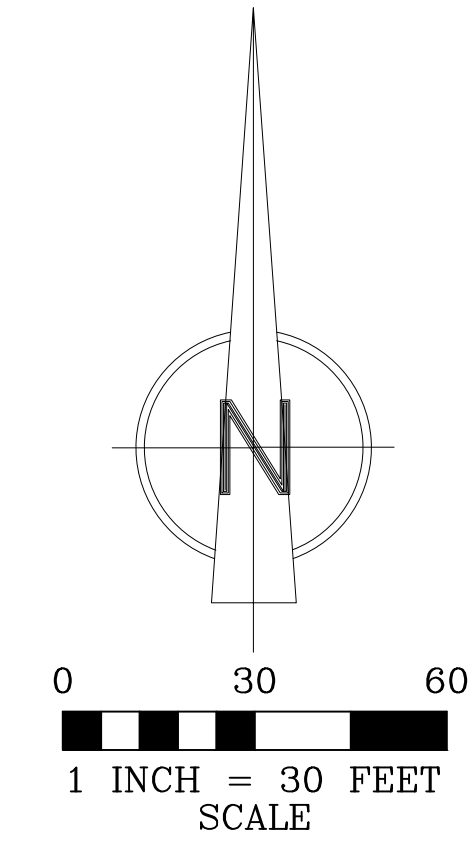
ZONE 1 = NOT APPLICABLE ZONE 3 = NOT APPLICABLE
ZONE 2 = NOT APPLICABLE

LEGEND:

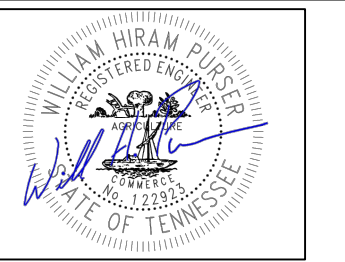
	PROPERTY LINE
	SETBACK LINE (MBSL)
	ELEV MAJOR CONTOUR (EVERY 10')
	ELEV MINOR CONTOUR (EVERY 2')
	FENCE LINE
	OVERHEAD ELECTRIC LINE
	SEWER LINE
	CORRUGATED METAL PIPE
	ADS PIPE
	DRAINAGE DITCH
	TREE LINE
	EXISTING STRUCTURES TO BE RAZED
	IRON PIN (IP)
	CONCRETE MONUMENT
	WATER METER
	POWER POLE
	GUY WIRE
	STORM AREA INLET MANHOLE
	X' TREE
	X' TREE (TO BE REMOVED)
	CONCRETE (HATCH)
	GRAVEL (HATCH)
	PERMEABLE PAVER (HATCH)
	IMPERVIOUS AREA (TO BE REMOVED)

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	700'	10.42'	10.42'	N 82° 57' 23" W

LINE TABLE (PROPERTY LINE)		
LINE	BEARING	DISTANCE
L1	N 83° 20' 32" W	139.54'



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William H. Purser, P.E.
Alliance Engineering & Consulting, LLC
480 Duke Drive, Suite 120
Franklin, TN 37067
william@alliance.com

DATE: 2/29/24

PROJECT:

1108 OVERTON LEA
CIVIL SITE PLAN

LOCATION:

1108 OVERTON LEA RD.,
DAVIDSON COUNTY,
NASHVILLE, TENNESSEE

OWNER:

SHEET CONTENT:

EXISTING SURVEY WITH
PROPOSED STRUCTURE OVER
EXISTING STRUCTURE

GENERAL NOTES:

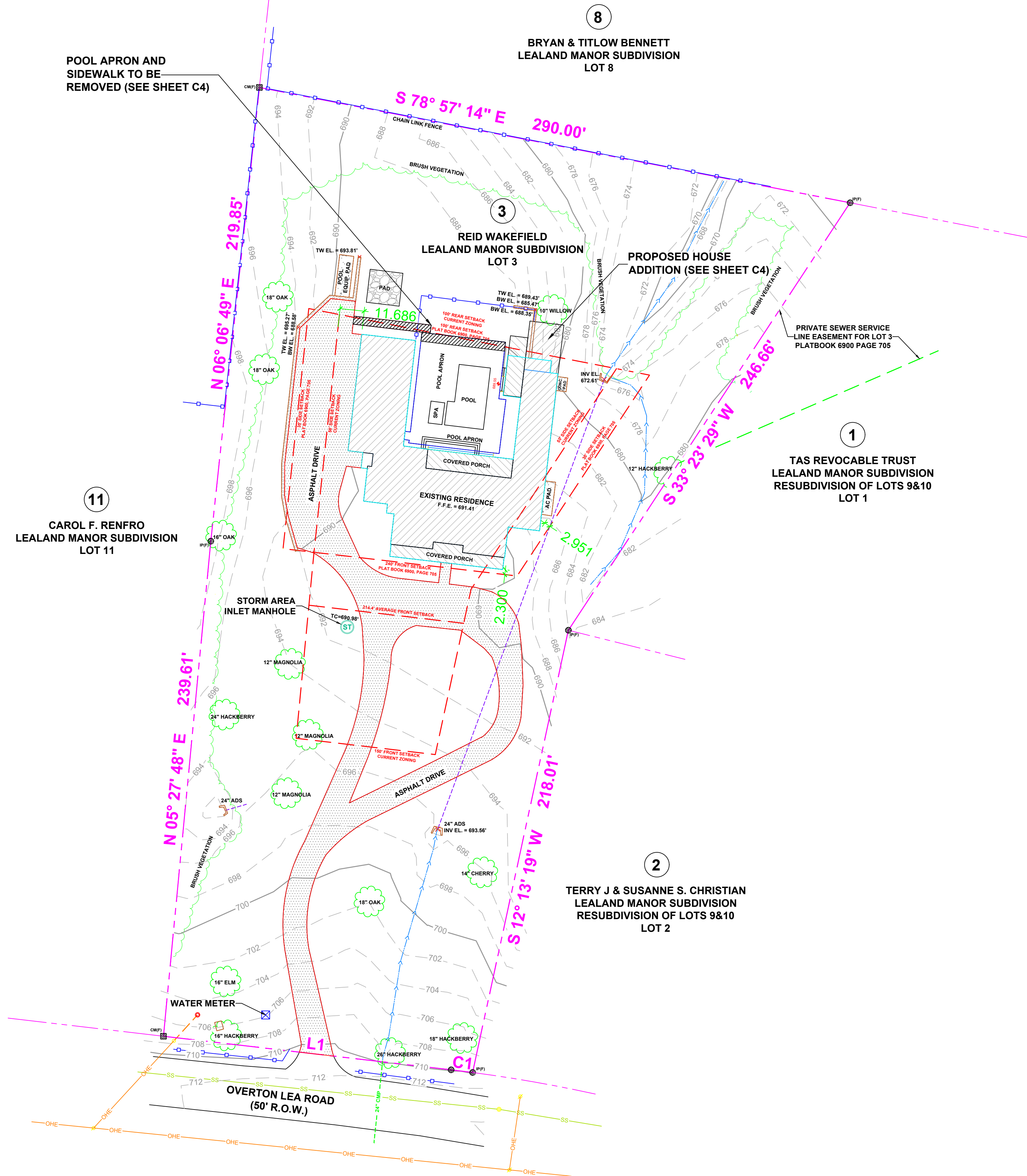
1. THIS PROPERTY IS LOCATED AT 1108 OVERTON LEA RD., DAVIDSON COUNTY, NASHVILLE, TENNESSEE.
2. BASIS OF BEARINGS IS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM ON THE 1983 NORTH AMERICAN DATUM (NAD 83).
3. THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS OF A CATEGORY I URBAN AND SUBDIVISION PROPERTY SURVEY, AS PER THE STANDARDS OF PRACTICE, AS REVISED AND ADOPTED BY THE TENNESSEE BOARD OF EXAMINERS FOR LAND SURVEYORS. (EFFECTIVE JANUARY 4, 1992)
4. IN TENNESSEE, IT IS A REQUIREMENT OF THE "UNDERGROUND UTILITY DAMAGE ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER(S), NO LESS THAN THREE(3) AND NO MORE THAN TEN(10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE. TO AVOID ANY POSSIBLE HAZARD OR CONFLICT CONTACT TENNESSEE ONE CALL AT 1-800-351-1111.
5. NO PORTION OF THE DESCRIBED TRACT LIES WITHIN FLOODWAY AND IS SHOWN IN THE AREA ZONE X AS SAID PROPERTY SHOWS ON FEMA MAP, PANEL NUMBER 47037C0358H ON FLOOD INSURANCE RATE MAP IN DAVIDSON COUNTY, TN, EFFECTIVE DATE APRIL 05, 2017.
6. ALL CONSTRUCTION TO CONFORM WITH DAVIDSON COUNTY BUILDING AND ZONING RULES AND REGULATIONS.
7. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT, THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH.

LEGEND:

- PROPERTY LINE
- SETBACK LINE (MBSL)
- MAJOR CONTOUR (EVERY 10')
- MINOR CONTOUR (EVERY 2')
- FENCE LINE
- OVERHEAD ELECTRIC LINE
- SEWER LINE
- CORRUGATED METAL PIPE
- ADS PIPE
- DRAINAGE DITCH
- TREE LINE
- EXISTING STRUCTURES TO BE RAZED
- IRON PIN (IP)
- CONCRETE MONUMENT
- WATER METER
- POWER POLE
- GUY WIRE
- STORM AREA INLET MANHOLE
- X' TREE
- X' TREE (TO BE REMOVED)
- CONCRETE (HATCH)
- GRAVEL (HATCH)
- PERMEABLE PAVER (HATCH)
- IMPERVIOUS AREA (TO BE REMOVED)

IMPERVIOUS AREA LEGEND

- ROOFED AREA
- DRIVEWAYS / WALKS
- POOL / POOL DECKS
- UNCOVERED PORCH / DECK
- RET. WALLS/ MISC. HARDSCAPE / EQ. PAD / OTHER IIA



REV. NO.	DATE	REVIEWED BY	DATE	CAD BY
0	01/08/24			JAAD
1				
2				
3				
4				

REMARKS:
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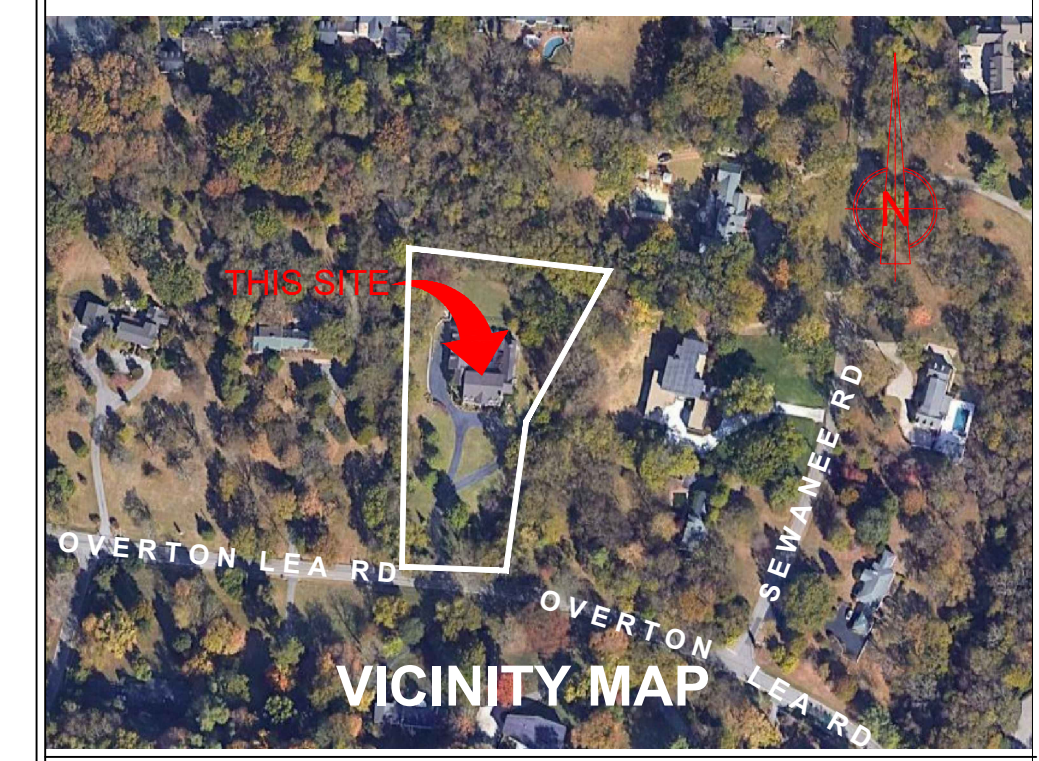
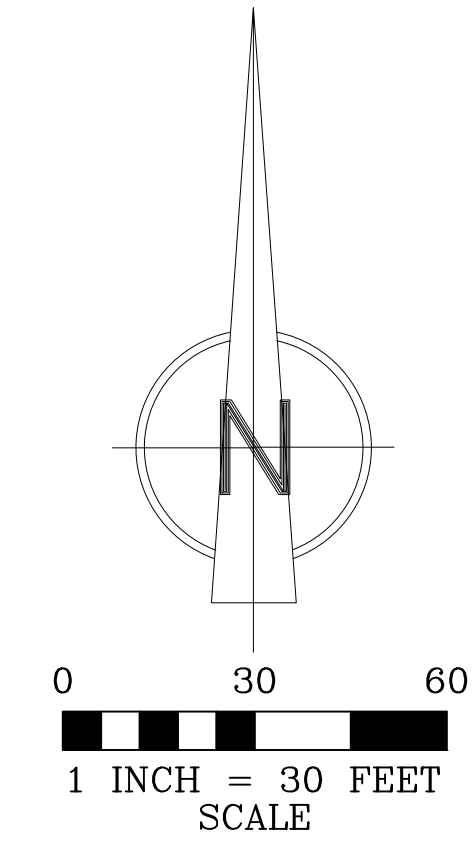
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C2

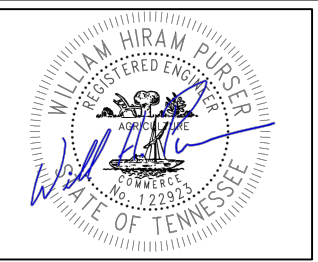
1" = 30'

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	700'	10.42'	10.42'	N 82° 57' 23" W

LINE TABLE (PROPERTY LINE)		
LINE	BEARING	DISTANCE
L1	N 83° 20' 32" W	139.54'



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480 Duke Drive, Suite 120
Franklin, TN 37067
william@alliance.com

DATE: 2/29/24

PROJECT:

1108 OVERTON LEA
CIVIL SITE PLAN

LOCATION:

1108 OVERTON LEA RD.,
DAVIDSON COUNTY,
NASHVILLE, TENNESSEE

OWNER:

SHEET CONTENT:

FINAL GRADING PLAN WITH
PROPOSED ADDITIONS

GENERAL NOTES:

1. THIS PROPERTY IS LOCATED AT 1108 OVERTON LEA RD., DAVIDSON COUNTY, NASHVILLE, TENNESSEE.
2. BASIS OF BEARINGS IS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM ON THE 1983 NORTH AMERICAN DATUM (NAD 83).
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LEGEND:

- PROPERTY LINE
- SETBACK LINE (MBSL)
- MAJOR CONTOUR (EVERY 10')
- MINOR CONTOUR (EVERY 2')
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- SEWER LINE
- CORRUGATED METAL PIPE
- ADS PIPE
- DRAINAGE DITCH
- TREE LINE
- EXISTING STRUCTURES TO BE RAZED
- IRON PIN (IP)
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- WATER METER
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- X' TREE (TO BE REMOVED)
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- GRAVEL (HATCH)
- PERMEABLE PAVER (HATCH)
- IMPERVIOUS AREA (TO BE REMOVED)

IMPERVIOUS AREA LEGEND

- ROOFED AREA
- DRIVEWAYS / WALKS
- POOL / POOL DECKS
- UNCOVERED PORCH / DECK
- RET. WALLS/ MISC. HARDSCAPE / EQ. PAD / OTHER I/A

MAXIMUM LOT COVERAGE:

PROPOSED:

DRIVEWAYS/WALKS (INCLUDES DRIVE-APRONS BEYOND PL):	9,762 S.F.
PATIOS/UNCOVERED PORCHES/DECKS:	182 S.F.
POOL/SPA/POOL DECKS:	1,990 S.F.
RET. WALLS/MISC HARDSCAPE/EQUIP. PADS/OTHER IA:	463 S.F.
ROOFED AREA OF ALL BUILDINGS:	6,678 S.F.

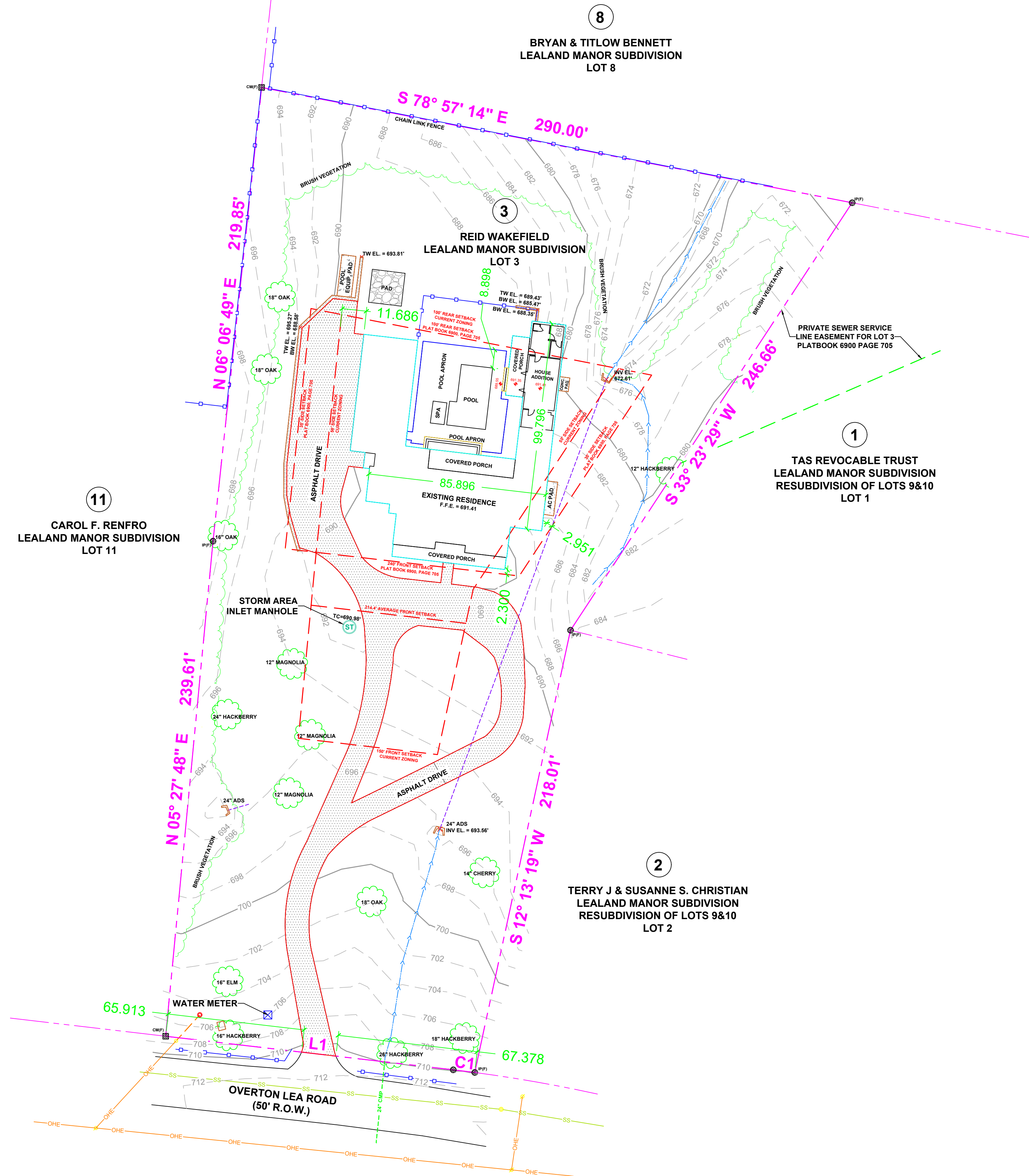
TOTAL PROPOSED IMPERVIOUS AREA: 19,075 S.F.

TOTAL EXISTING IMPERVIOUS AREA: 19,096 S.F.

NET REMOVED I.A.: 21 S.F.

TOTAL EXISTING I.A. / TOTAL LOT SF: 19,096 SF / 89,714 SF = 21.29%

TOTAL PROPOSED I.A./TOTAL LOT SF: 19,075 SF / 89,714 SF = 21.26%



DATE	REVIEWED BY	DATE	CAD BY	REV. NO.
		01/08/24	JAAD	0
				1
				2
				3
				4

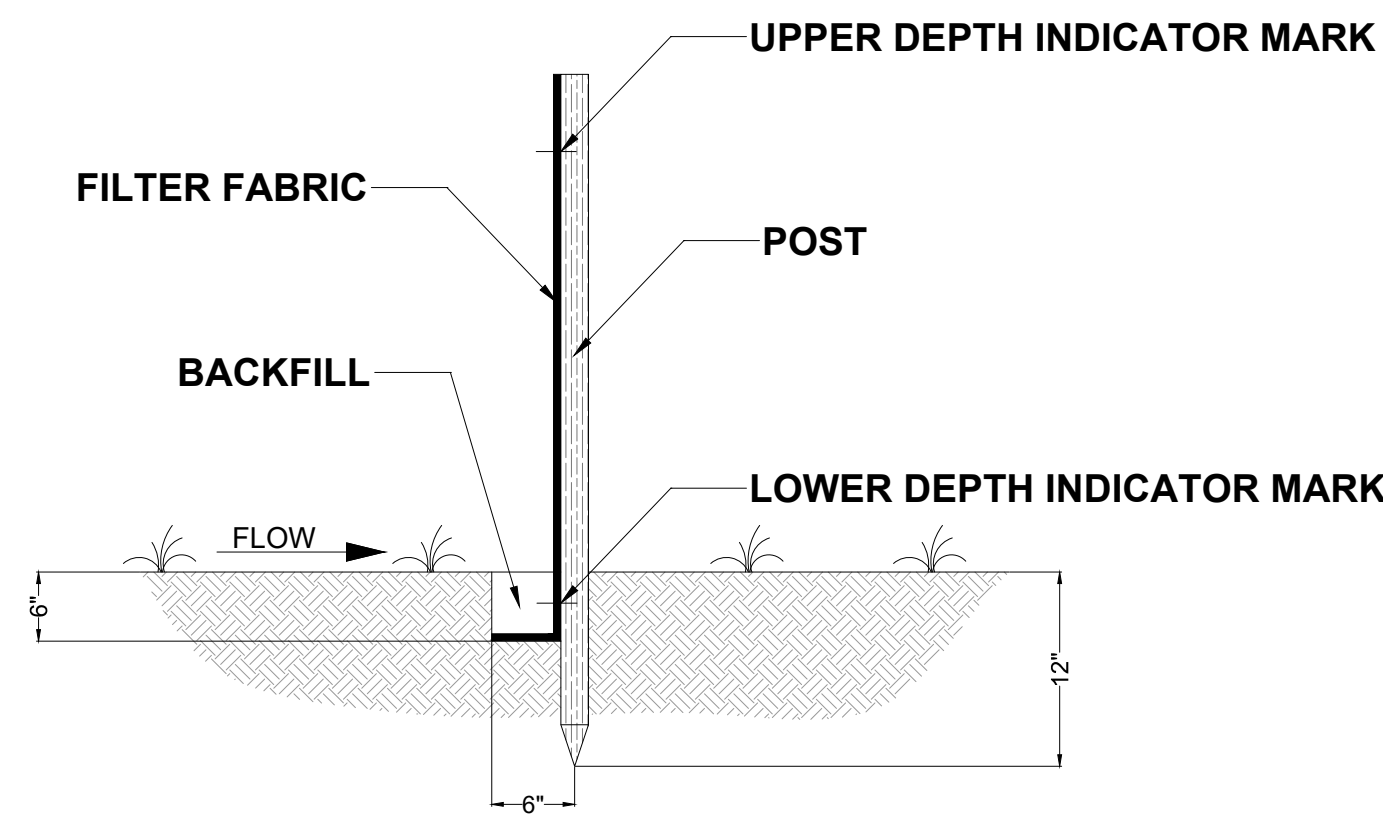
REMARKS:

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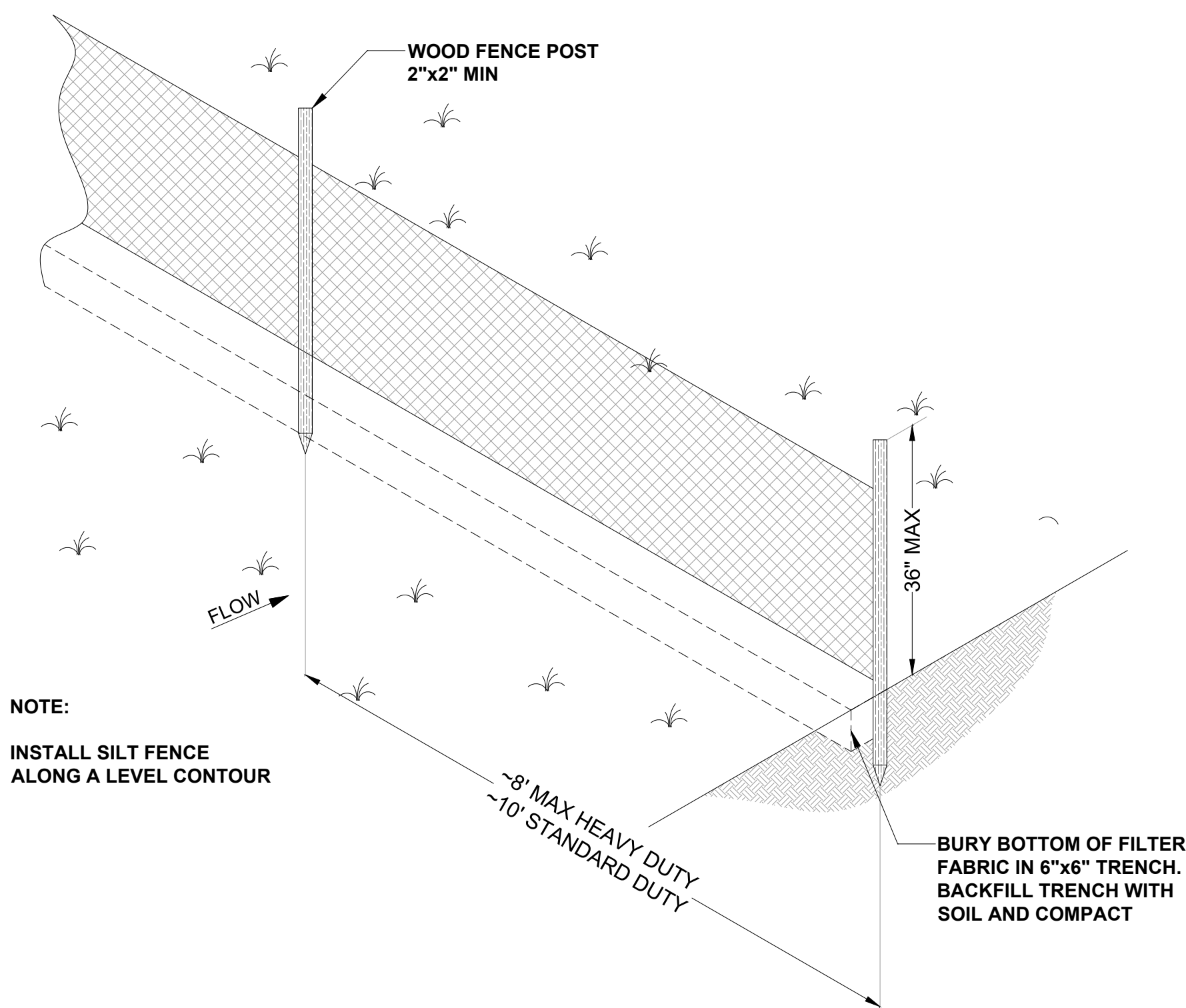
SHEET CONTENT:

C4

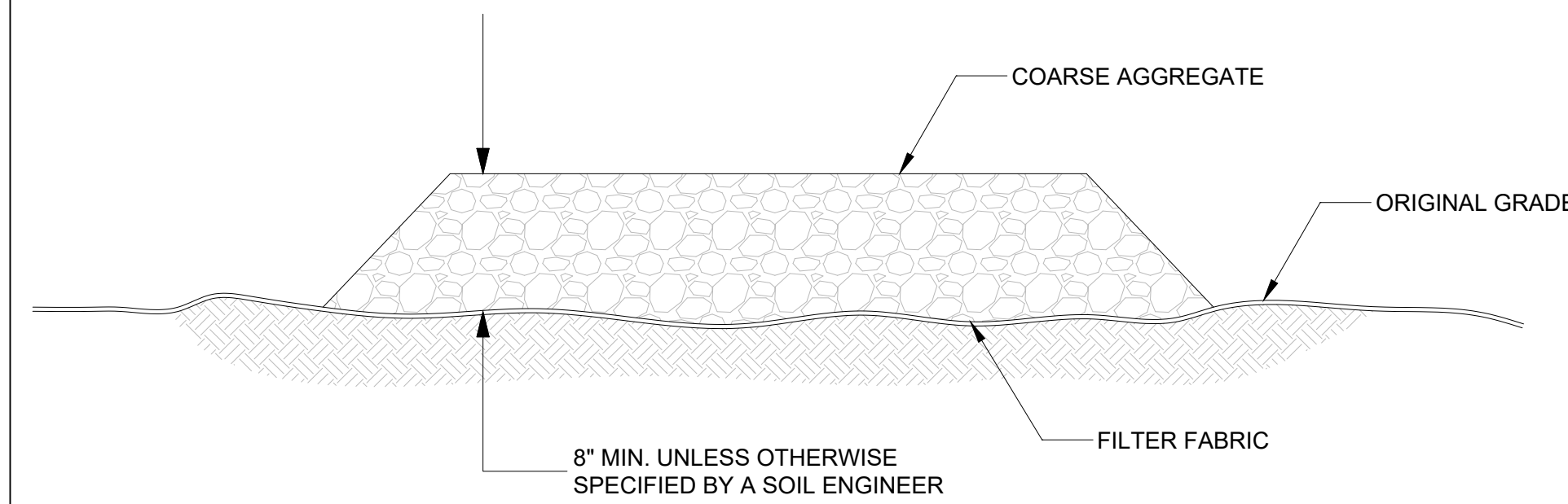
1" = 30'



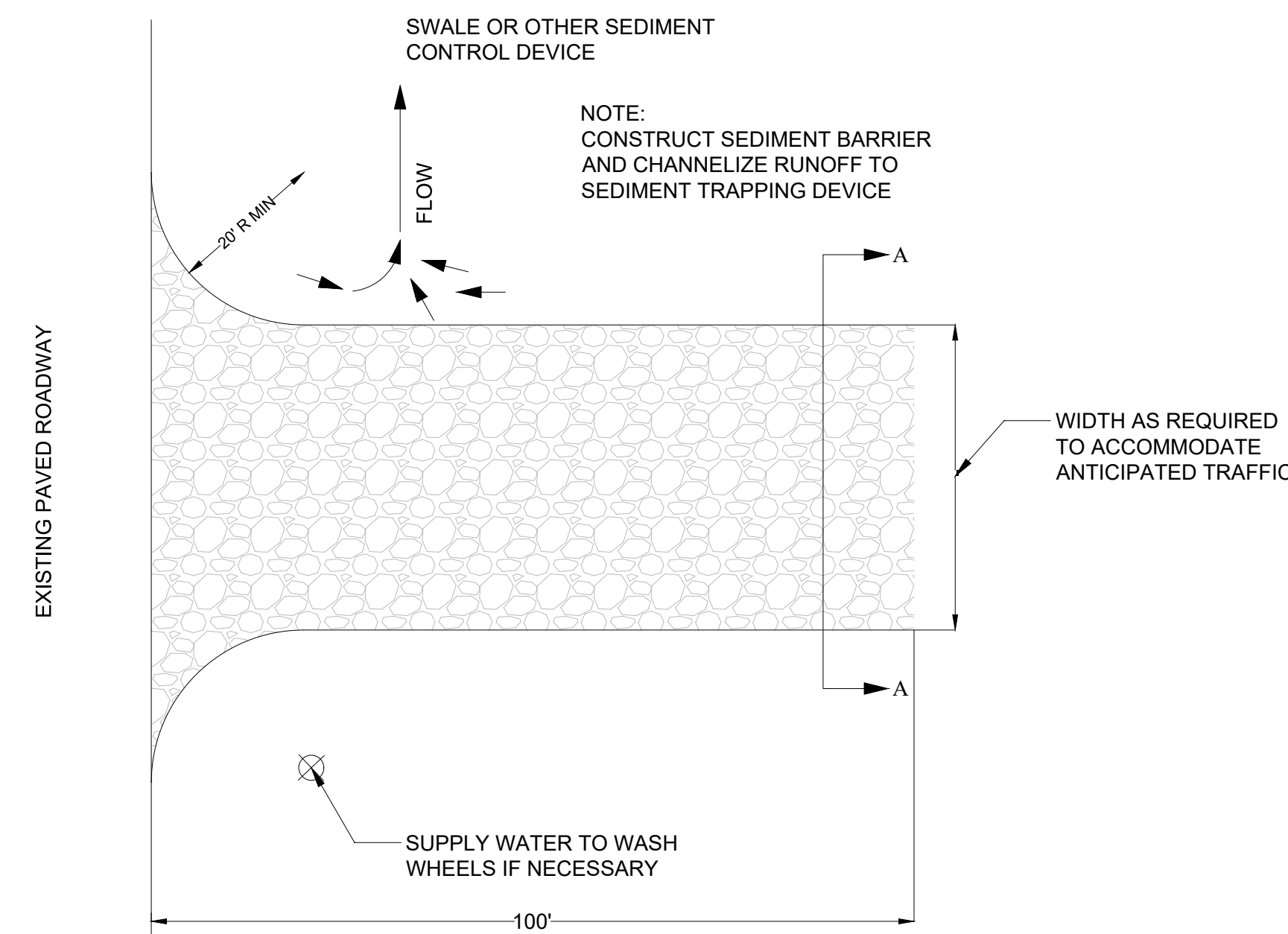
TYPICAL SILT FENCE DETAILS



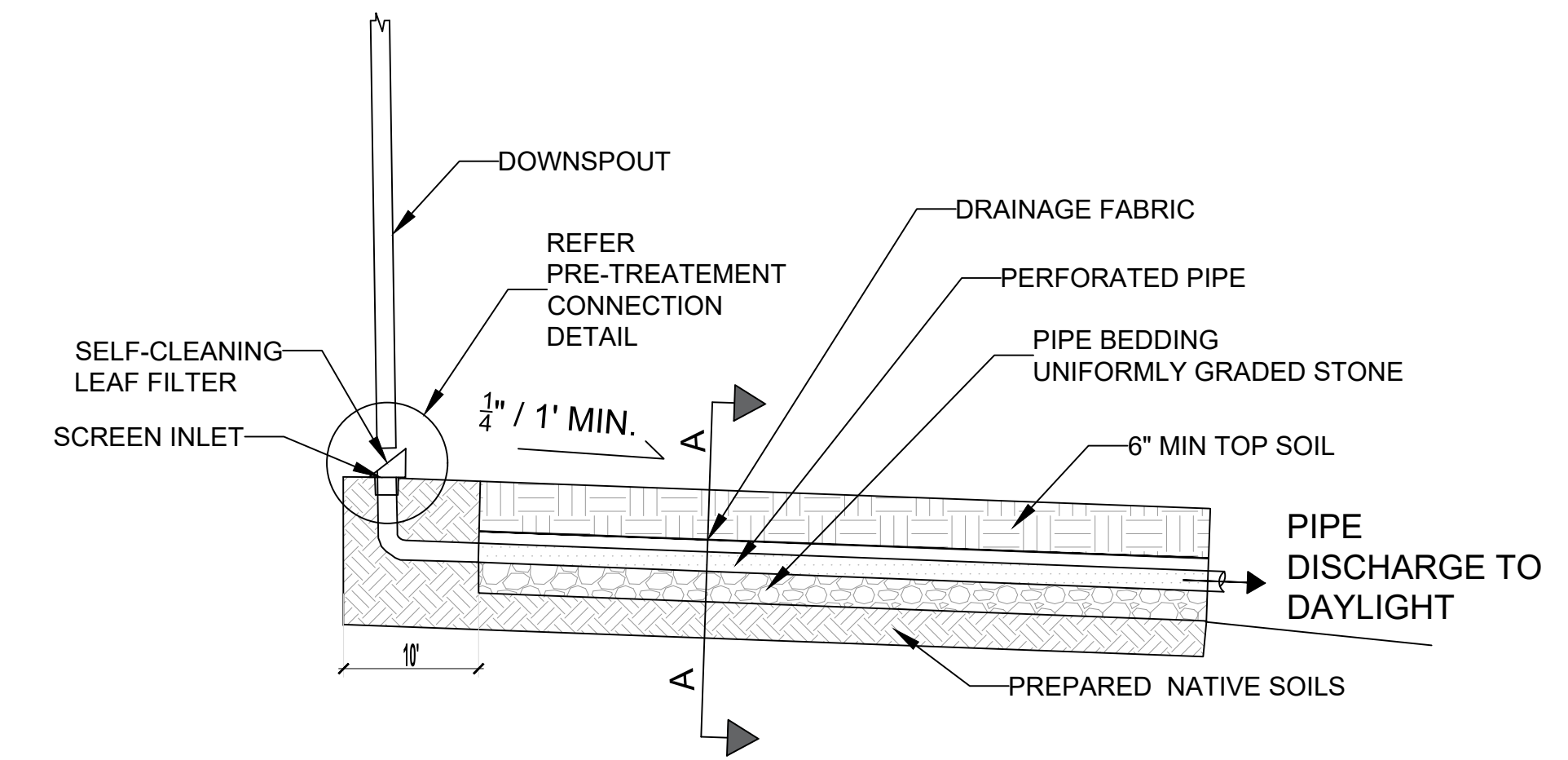
TYPICAL SILT FENCE INSTALLATION



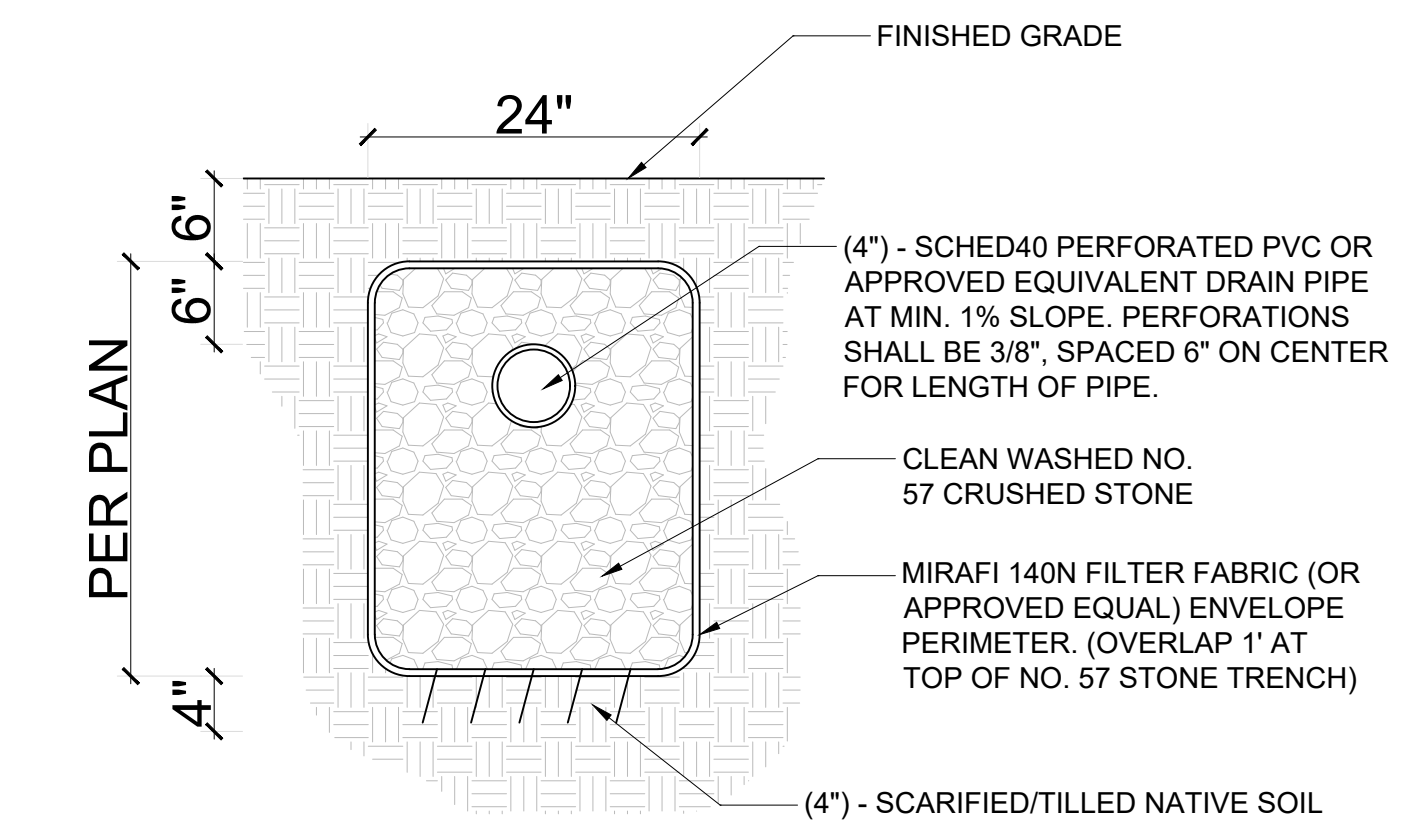
SECTION A-A



PLAN VIEW



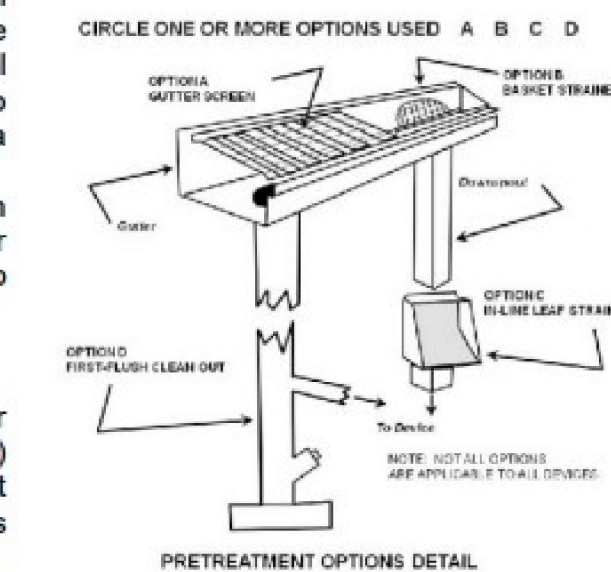
TYPICAL MFD CONNECTION DETAIL



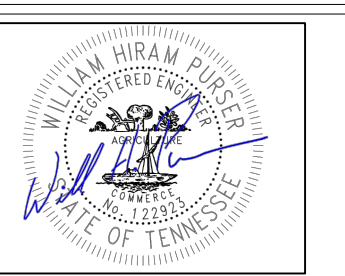
TYPICAL DETAILS

CONSTRUCTION STEPS:

- Review potential MFD areas and layout. MFDs should slope between 0.5% and 6% away from the structure and should not be located: (1) beneath an impervious (paved) surface; (2) above an area with a water table or bedrock less than two feet below the trench bottom; (3) over other utility lines; or, (4) above a septic field. Insure outlet daylight is at least ten feet from property line.
- Measure the area draining to the MFD and determine required length from the table on the next page using assumed width and gravel depth, and plan route and excavation depth.
- If soil is a concern, perform infiltration test according to Section B. If the rate is less than 0.25 in/hr this method cannot be used. If the rate is more than 0.50 in/hr the length of the ditch may be decreased 10% for every 0.50 in/hr infiltration rate increase above 0.50 in/hr.
- Measure elevations and lay out the MFD to the required dimensions marking the route and required excavation depths. Often a level line (torpedo level) is used.
- Remove sod using a sod cutter if appropriate. Excavate ditch to the depth of the gravel plus six inches for topsoil/pea gravel and three additional inches to accommodate half the pipe depth. Be careful not to compact soils in the bottom. Level the bottom laterally as much as possible to maximize infiltration area. Roughen bottom to a depth of at least three inches and trim roots.
- Place and tamp gravel in ditch to planned depth placing the pipe three inches deep in the upper portion of the gravel. Then place and gently tamp gravel until it covers the pipe.
- Place drainage fabric over top of pipe and stone.
- Place topsoil and sod or pea gravel.
- Cut and route downspouts or other rainwater delivery components, leaf screen option(s) chosen (circle selected options in Pretreatment Options Detail figure). Strap and support as needed.
- Create a safe overflow at least 10 feet from your property edge and insure it is protected from erosion.



PRETREATMENT OPTIONS DETAIL



DATE	REVIEWED BY	DATE	CAD BY	REV. NO.
		01/08/24	JAAD	0
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REMARKS:
These building plans are available to purchasers for the sole purpose of providing a general understanding of the specifications for the type of model selected. Field conditions, availability of materials, and many other factors will impact the final product.

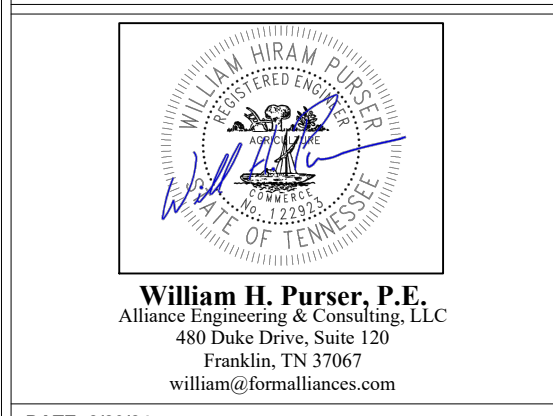
Site Grading, Drainage & Erosion Control Notes:

1. The contractor shall comply with all pertinent provisions of the manual of accident prevention and construction issued by AGC of America Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor.
2. The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation.
3. If any springs or underground streams are exposed during construction, permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
4. Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
5. Clean silt barriers when they are approximately 50% filled with sediment or as directed by the owner's representative. Silt barriers shall be replaced as effectiveness is significantly reduced, or as directed by the owner's representative.
6. All new pipes under existing paved areas shall be backfilled to the top of subgrade with #57 crushed stone.
7. Sediment removed from sediment control structures is to be placed at a site approved by the local governing authorities. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for the earthwork. The contractor shall obtain the disposal site as part of his work.
8. Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
9. Minimum grade on asphalt or concrete paving shall be 1.0%
10. Construct silt barriers before beginning any grading operations.
11. This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
12. Do not disturb vegetation or remove trees except when necessary for grading purposes.
13. Top of grate elevations and location of coordinates for drainage structures shall be installed as shown on the plan unless otherwise noted. The grates shall slope longitudinally with the pavement grades. Coordinates provided are for the center of the grate (at the face of curb where applicable).
14. Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property utilized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
15. Respread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization.
16. Proposed contour lines and spot elevation are the result of engineered grading design and reflect a planned intent with regard to drainage and movement of materials. Should the contractor have any question of the intent any problem with the continuity of grades, the engineer shall be contacted immediately.
17. All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless indicated by plans.
18. Positive drainage shall be established in the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut with suitable fill materials.
19. Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by the owner's representative.
20. Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.

22. Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when the opinion of the owner's representative, they are no longer needed.
23. Provide temporary construction access at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dirt.
24. All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
25. All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by owner.
26. All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
27. It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner. The contractor shall first offer the excess material to the owner. If not accepted by the owner the contractor shall dispose of the earth material off site. It shall also be the contractor's responsibility to import suitable material (at no additional cost to the owner) for earthwork operations if sufficient amounts of earth material are not available on site.
28. The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any grading work constitutes the contractor's acceptance of the existing grade as matching those shown on the plans.
29. Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading respread the topsoil over all disturbed areas, to a minimum depth of 6". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
30. The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stem, etc. inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at no additional cost to the owner.
31. In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations. Specifically the current OSHA Health and Safety Standards for Excavations (29CRD Part 1926) shall be followed.
32. All fill slopes and cut slopes on this project shall be reviewed by the owners's geotechnical engineer during construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
33. All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this conformation in writing from the geotechnical engineer.
34. Relocation of existing plant materials shall be coordinated with the owner and relocated to a designated area on site.
35. All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any discrepancies to what was designed.
36. The contractor shall coordinate the exact location of the storm drain connections at the building with the plumbing plans.
37. The location of all diversion swales and ditches shall be field adjusted to avoid trees as possible. The contractor shall walk the alignment of these swales and ditches in the field to verify avoidance of trees.



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Alliance Engineering & Consulting, LLC



DATE: 2/29/24

PROJECT:

1108 OVERTON LEA
CIVIL SITE PLAN

LOCATION:

1108 OVERTON LEA RD.,
DAVIDSON COUNTY,
NASHVILLE, TENNESSEE

OWNER:

SHEET CONTENT:

GENERAL NOTES

REV. NO.	DATE	REVIEWED BY	DATE	CAD BY
0			01/08/24	JAAD
1				
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3				
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SHEET CONTENT:
C6 NTS