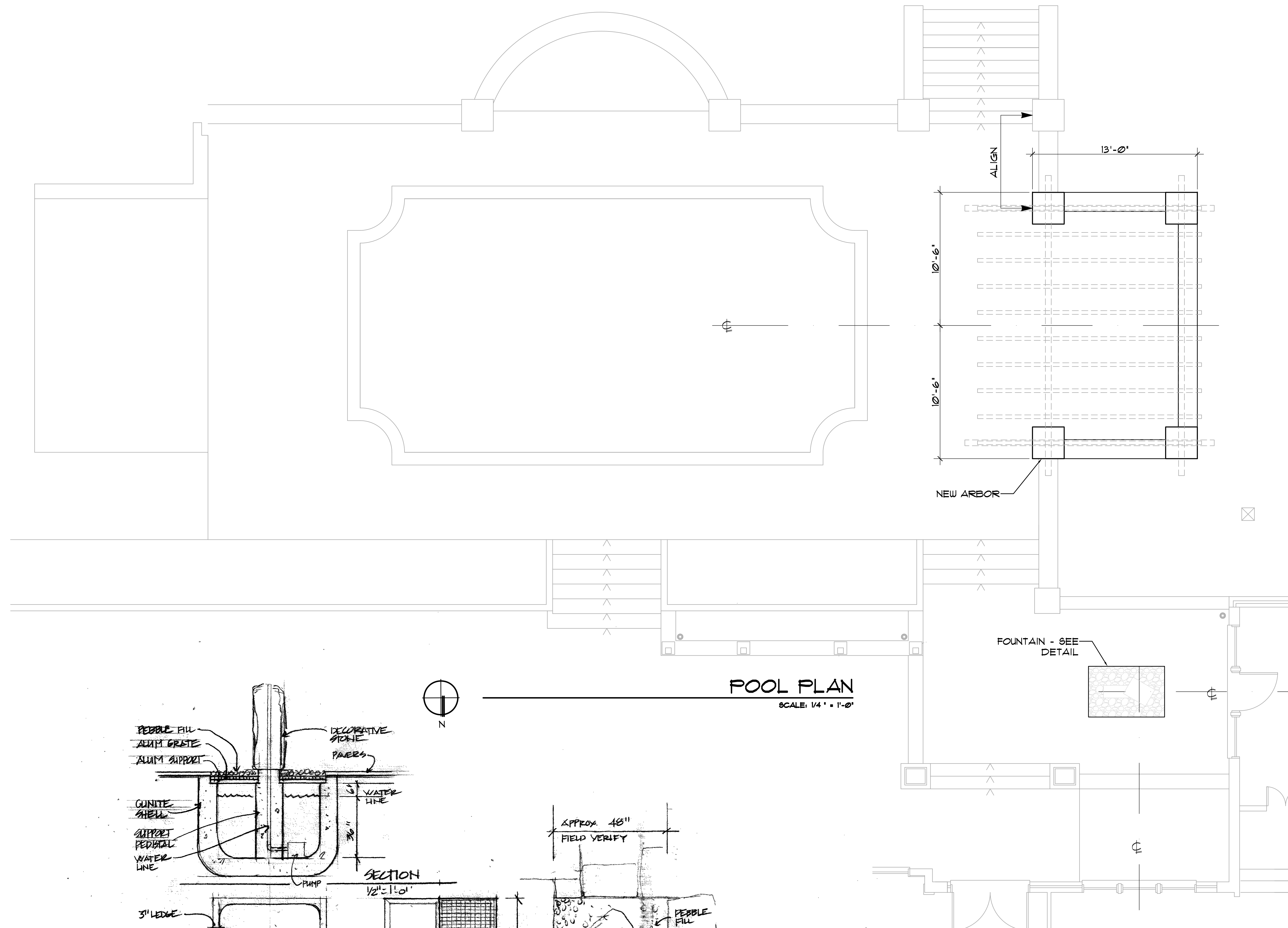
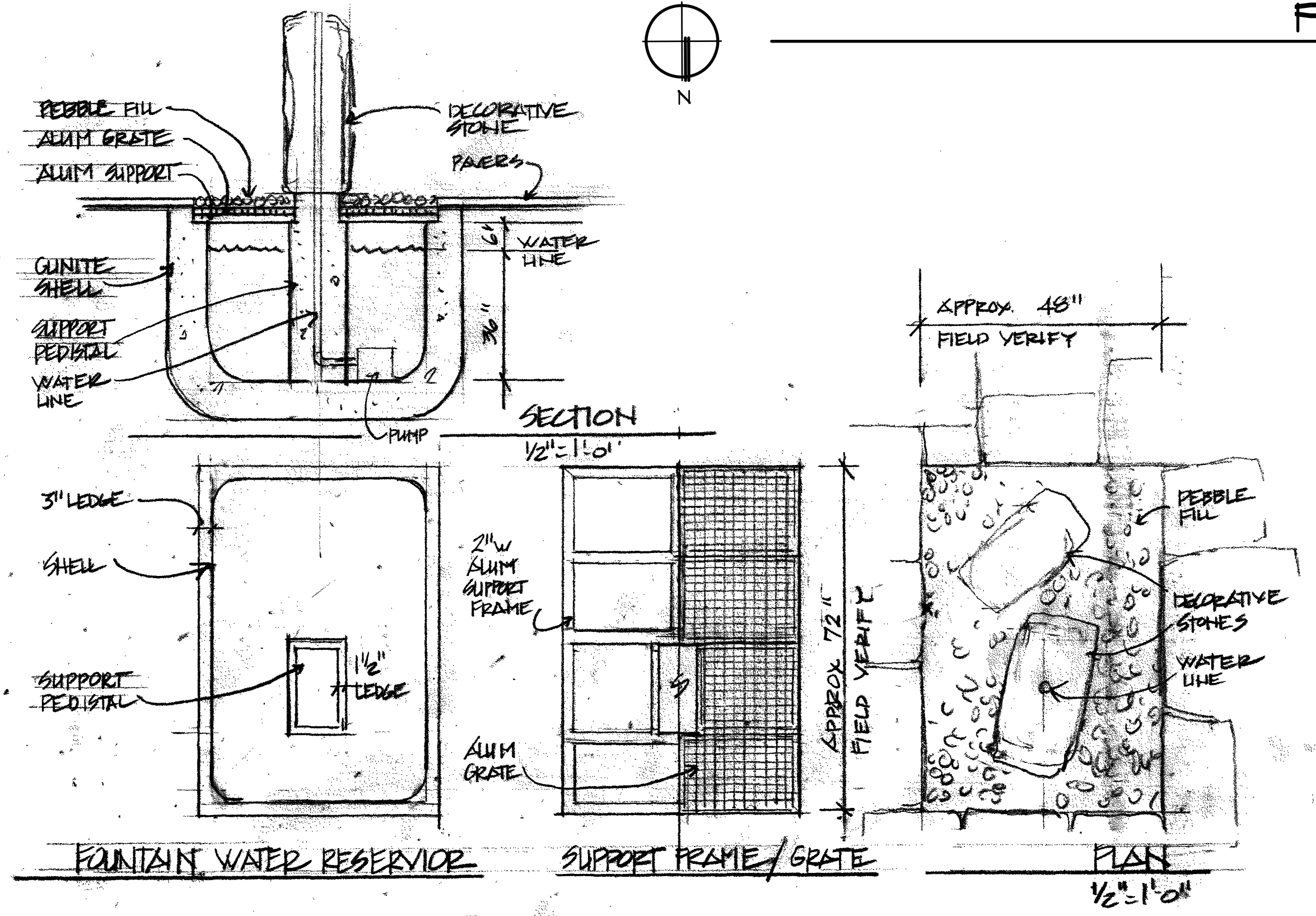


Permit #: 113**Permit Date:** 11/30/23**Permit Type:** Planning Commission**Case Number:** PC 24-01**PC Meeting Date:** a. 1st Tuesday of February**BZA Meeting Date:****Assigned Meeting
Date:** 02/06/2024**Special Meeting
Date:****Applicant Is:** Owner**Applicant Name:** Burt Nowers**Applicant Address:** 1045 Overton Lea**Applicant City, State,
ZIP:** Nashville, TN 37220**Applicant Phone
Number:** 6154736760**Applicant Email:** bnowers@gmail.com**Description:** Property is nonconforming in regard to Maximum Lot Coverage exceeding by 7%. Applicant proposes to remove existing impervious pool deck portions and replace a portion of removed area with grass and construct a stone-column arbor with stone floor in the remaining portion..**Project Cost:** 0**Square Feet:** 0**Lot Area:** 0**Lot Coverage:** 0**Heat/cooled area:** 0**Proposed Height(ft.):** 0**#of stories:** 0**Lot Depth/Width
Ratio:****Avg. front setback of
adjacent homes:****Zoning District:** Zone F**Radnor Lake Impact
Zone:** No**Steep Slope:** No**Plat/Subdivison:** No**Status:** Open**Assigned To:** Stephen Snow**Property**

Parcel #	Address	Legal Description	Owner Name	Owner Phone	Zoning
14504003800	1045 OVERTON LEA RD	LOT 8 LEALAND MANOR FINAL PLAT LOT 7& 8 3RD ADDN	NOWERS, BURTON A., JR. & LISA A.		



POOL PLAN
SCALE: 1/4" = 1'-0"



J. TERRY BATES & ASSOCIATES, INC
ARCHITECTS PLANNERS
1705 19TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212
615-298-7288

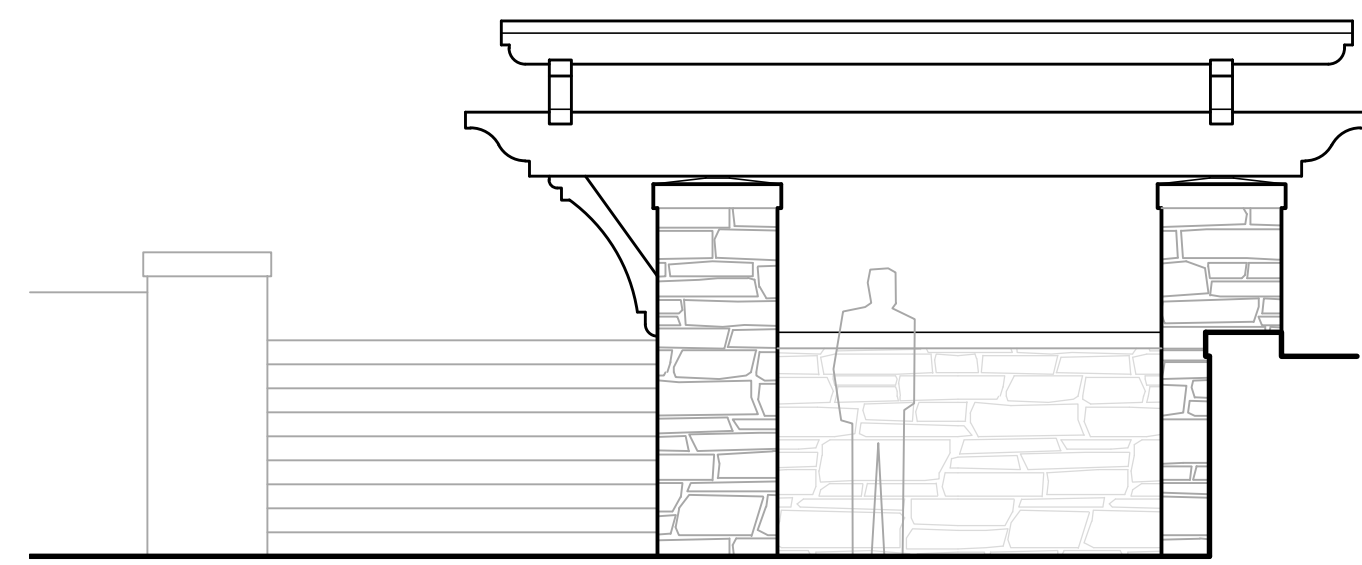
NOWERS POOL ARBOR
1045 OVERTON LEA ROAD
NASHVILLE, TENNESSEE

DRAWN BY:
CHECKED BY:
DATE ISSUED:
18 APRIL 2023
REVISIONS:

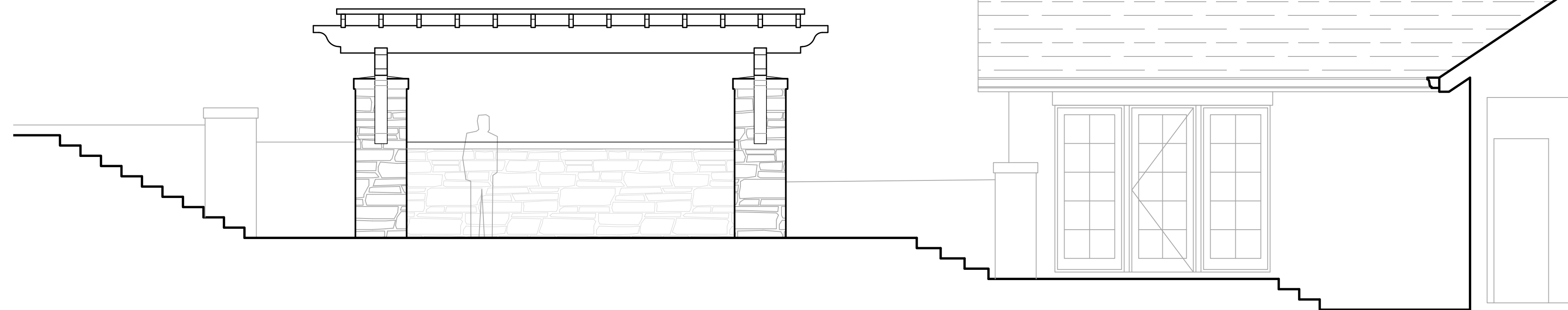
DRAWING NO.

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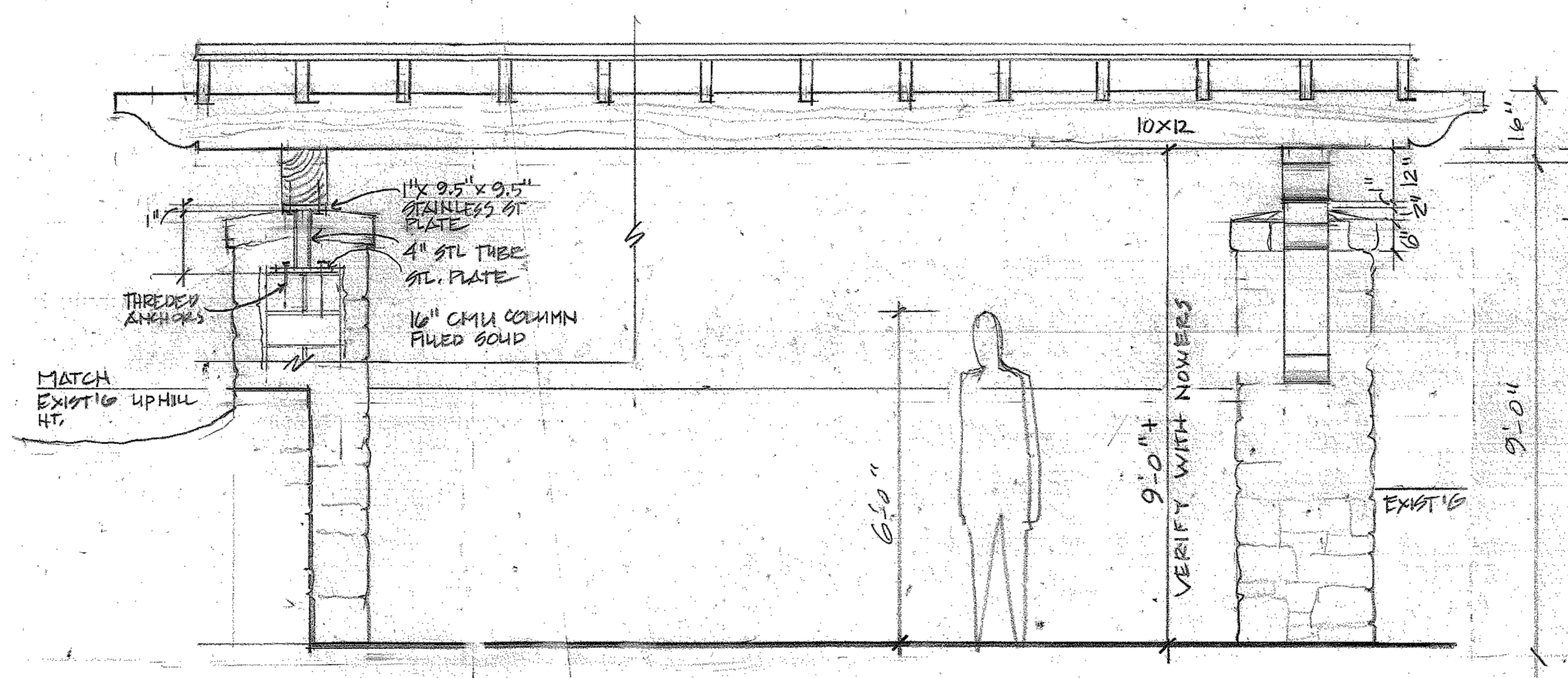
POOL PLAN



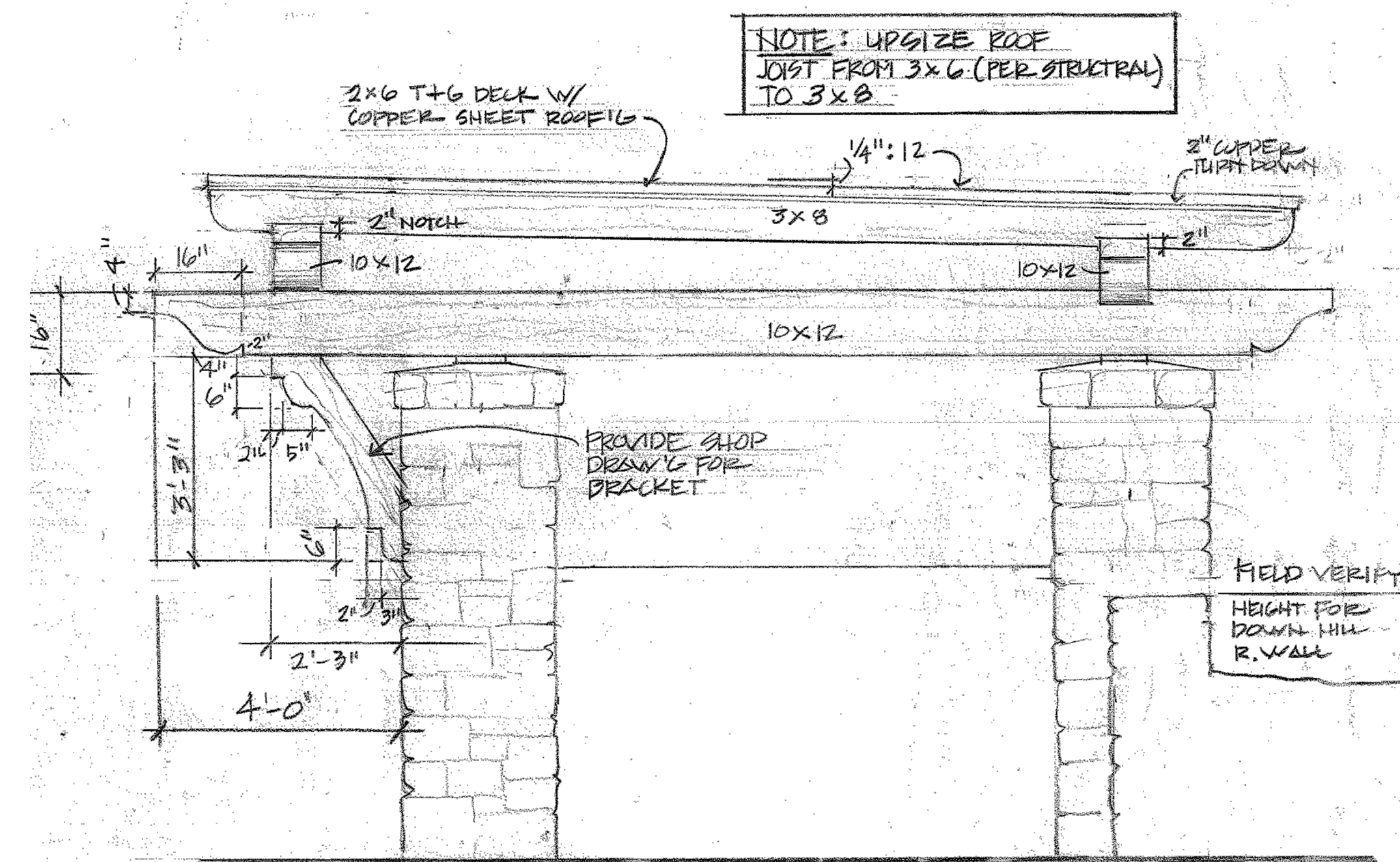
2 ELEVATION SOUTH VIEW
SCALE: 1/4" = 1'-0"



1 ELEVATION WEST VIEW
SCALE: 1/4" = 1'-0"



4 DETAILED ELEVATION
SCALE: 1/2" = 1'-0"



3 DETAILED ELEVATION
SCALE: 1/2" = 1'-0"

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615-298-2288

NOWERS POOL ARBOR
1045 OVERTON LEA ROAD
NASHVILLE, TENNESSEE

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REVISIONS:

DRAWING NO.

A-2

EXTERIOR ELEVATIONS

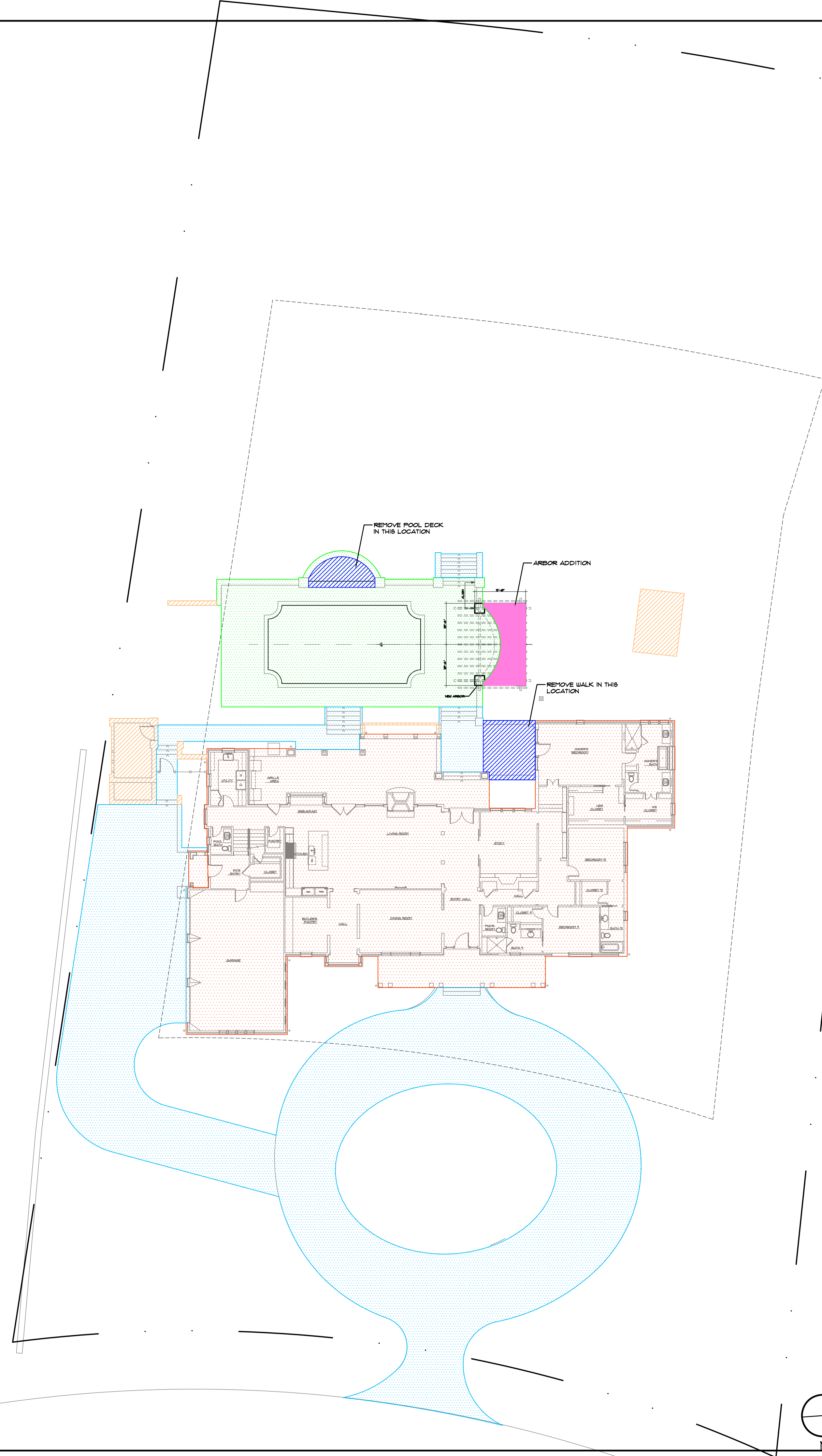
5. Survey that is stamped, signed, and dated by a TN licensed land surveyor will be required for the following projects with the following inclusions:
- ___ All projects requiring licensed engineer
 - ___ Building projects greater than 100 sf but less than 300 sf (roofed area)
 - ___ Locations of all trees and associated data listed in Section 904 (A) of Tree Protection Standards. Tree locations and canopy diameters must be accurately and precisely noted/illustrated on plans. For tree plans showing individual trees, tree locations may be confirmed by either noting x,y dimensions to property lines on the plans, or by a statement from the surveyor included on the plan stating, "All trees on this lot that are 3 in. or greater in caliper, whether existing or to be removed, are represented on this plan and are precisely located on this drawing."
 - ___ NOTE: This statement verifying accuracy of tree locations in relation to surveyed or engineered lot information can be made by any TN licensed designer if that statement of verification is on a plan that is stamped, signed, and dated by the TN licensed designer making that statement.
 - ___ List required existing and proposed tree information: species, individual tree canopy sf, DBH, retain/remove, aggregate canopy totals
 - ___ Calculations and Totals required by Tree Retention Standards in Table 905 (where engineered plans not required)
 - ___ Calculations and Totals required by Tree Replacement Table in Section 908 (where engineered plans not required)
 - ___ Property lines, deed information, contours at 2 ft intervals, easements
 - ___ Special conditions and discrepancies (at the discretion of the City)
 - ___ When required by other jurisdictions/authorities
6. Site Plan Requirements (if applicable) - non-structural elements are assumed to be included, however the following are particularly expected during review:
- ___ Site layout, show setbacks, dimension between driveway and PL for Zones C,D,E,F; equipment pads w/in setbacks; fences/gates; automatic gates; culverts w/ size (typ req. min. 15"); full protection guards at 30" drop-offs; all proposed structures
 - ___ Erosion Control plan with details
 - ___ Grading plan. In addition to contours of existing/proposed grades on project-let, show existing contours on first ten feet on adjacent lots
 - ___ If new grades suggest more postconstruction runoff to adjacent sites than preconstruction runoff, show retention/diversion measures
 - ___ Show elevations for existing/proposed top-of-slabs-on-grade for any level of any building, first floor levels, patio/hardscape, all decks
 - ___ Note heights of retaining walls (elevation at grade / elevation at top of wall)
 - ___ Stream buffers for streams noted on Metro Nashville maps - note buffers and requirements of all applicable authorities
 - ___ Stormwater management plan per City of Oak Hill Regulated Residential Infill Guidelines
 - ___ Identify Tiers I, II, III from as classified by City of Oak Hill Regulated Residential Infill Guidelines
 - ___ Include required stormwater treatment measures from Appendix H - Regulated Residential Infill Guidelines (detail & calculation sheet)
 - ___ Locate and dimension required stormwater treatment measures on site plan
7. Bulk Building Standards Compliance

- Site Plans / Surveys (Bulk Building Standards related)**
- ___ Show setbacks. Front setback to be most restrictive of tabular and contextual (label front setback respectively). Show graphic of adjacent-lot front-setbacks, and note existing setback dimension of each.
 - ___ Show and label Height Zone lines overlaid on proposed footprint, dimensioned back to setback lines, and parallel to side setback lines. These Height Zone line locations and dimensions must match the Height Zone lines and dimensions shown on architectural elevations.
 - ___ Provide Lot Coverage plan with different shaded areas respective to groups listed in Max. Lot Coverage Table below. Each shaded area must graphically shade to the extents of lot coverage calculated for its particular group, and the total must be noted within that shaded area on the plan (Example: for a project with a driveway, a sidewalk, and house, two areas shaded differently would be provided with the first shaded area covering extents of impervious driveway (including drive-aprons) and sidewalk, with the total amount for that driveway/walk area noted on both in the Table and on the plan in the middle of that shaded area. The second shaded area would cover the building to the extent of the roof edge, and both the Table and plan would be noted with the total if amount for that roofed area).
 - ___ Include two-column table listing and account for Lot Coverage amounts/totals as specified in the following format:

Maximum Lot Coverage	
Existing	Proposed
Driveways/Walks (including drive-aprons beyond PL)	Driveways/Walks (including drive-aprons beyond PL)
8,262	169 (Arbor)
Patios/Uncovered Porches/Decks	Patios/Uncovered Porches/Decks
2,367	306
Pool/Spa/ Pool Decks	Pool/Spa/ Pool Decks
487	
Ret.Walls/Misc.Hardscape/Equip.Pads/Other IA	Ret.Walls/Misc.Hardscape/Equip.Pads/Other IA
7,014	
Roofed area of all Buildings	Roofed area of all Buildings
18,130	17,993
TOTAL EXISTING:	TOTAL PROPOSED:
	137
	NET ADDITIONAL IA:
	27.35%

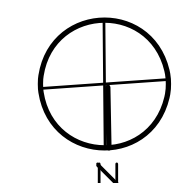
- Architectural Plans (Bulk Building Standards related)**
- ___ Show calculations/total for Maximum Gross Floor Area Ratio
 - ___ Show calculations for "Side Setback Interior Lot Line"
 - ___ Show calculations for Height Zones 1 and 3
 - ___ Show ceiling heights and graphic to document and illustrate Half Story ceiling height area configurations
 - ___ Show calculation to document Pool House is max. 25% of Primary Structure
 - ___ Show line of "average elevation of finished grade along the front (street side) of the building"
 - ___ Show Height Zone lines on elevation drawings as follows:
 - ___ Show vertical height dimensions of Height Zones 1 and 2 from average front grade to highest point of roof on FRONT elev.
 - ___ Show vertical height dimensions of Height Zones 1 and 2 from average front grade to highest point of roof on REAR elev.
 - ___ Show horizontal dimensions from side setbacks to Height Zone 1 lines on both sides
 - ___ These Height Zone locations and dimensions must match the Height Zone lines and dimensions shown on site plan.

REV. 5/3/23



	HOUSE	7,014
	DRIVEWAY/WALKS	8,262
	POOL/POOL DECK	2,367
	HARDSCAPE/OTHER	487
	ARBOR ADD	169
	REMOVE	306
		18,130
		17,993

NOTE:
SITE INFORMATION IS TAKEN FROM DATA SUPPLIED BY SMITH LAND SURVEYING, INC. ON A DRAWING DATED NOVEMBER, 10, 2014. J. TERRY BATES AND ASSOCIATES, INC. SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION.



SITE PLAN
SCALE: 1/16" = 1'-0"

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NOWERS POOL ARBOR
1045 OVERTON LEA ROAD
NASHVILLE, TENNESSEE

DRAWN BY:
CHECKED BY:
DATE ISSUED:
28 SEPT. 2023
REVISIONS:

DRAWING NO.

A-3

SITE PLAN