

**Permit #:** 98**Permit Date:** 09/19/23**Permit Type:** Board of Zoning Appeals**Case Number:** BZA 23-55**PC Meeting Date:****BZA Meeting Date:** j. 3rd Tuesday of October**Assigned Meeting Date:** 10/17/2023**Special Meeting Date:****Applicant Is:** Contractor**Applicant Name:** Ben Lehning**Applicant Address:** 5111 Peter Taylor Park Dr.**Applicant City, State, ZIP:** Brentwood TN 37027**Applicant Phone Number:** 615-598-6434**Applicant Email:** ben@rogersbuild.com**Description:** Requesting the removal of 9 trees with a DBH of 8 inches or greater for a single family house.**Project Cost:** 0**Square Feet:** 0**Lot Area:** 183665**Lot Coverage:** 21000**Heat/cooled area:** 6613**Proposed Height(ft.):** 34**#of stories:** 2**Lot Depth/Width Ratio:** 2.46:1**Avg. front setback of adjacent homes:** 323.2**Zoning District:** Zone F**Radnor Lake Impact Zone:****Steep Slope:****Plat/Subdivison:****Status:****Assigned To:** Steve Mallory**Property**

Parcel #	Address	Legal Description	Owner Name	Owner Phone	Zoning
14601002700	917 TYNE BLVD	PT LOT 3 BLK B BRIDLE PATH ESTATES	DENNY, JUNE R.		

**Fees**

Fee	Description	Notes	Amount
Residential Presentation Fee			\$250.00
<b>Total</b>			<b>\$250.00</b>

**Payments**

Date	Paid By	Description	Payment Type	Accepted By	Amount
09/19/2023	Ben Lehning		CK#11720	Steve Mallory	\$250.00



VIEW OF PROPOSED PROJECT



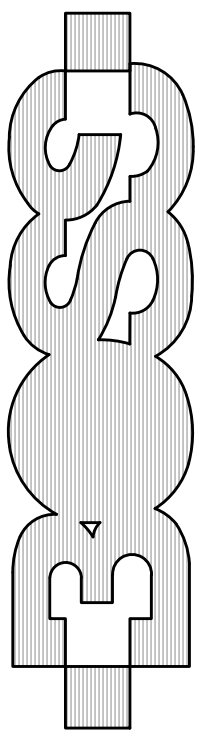
DRAWING INDEX

ISSUES AND REVISIONS	
●	NEW DRAWING
◐	REVISED DRAWING
○	REISSUED DRAWING w/ NO CHANGES
—	OMITTED

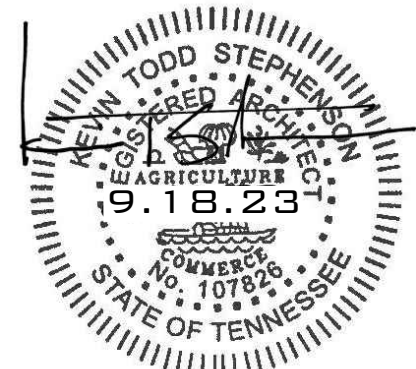
08.18.2023  
BZA

ARCHITECTURAL DRAWINGS

A0.0	COVER SHEER	●
A0.1	GENERAL NOTES, INSULATION AND ENERGY COMPLIANCE NOTES	●
A0.2	SURVEY	●
A0.3	TREE INVENTORY, TREE REMOVAL, TREE CANOPY CALCULATIONS	●
A0.4	EXISTING SITE SLOPE ANALYSIS	●
A1.0	SITE PLAN	●
A2.0	PROPOSED MAIN LEVEL FINISH PLAN	●
A2.1	PROPOSED LOWER LEVEL FINISH PLAN	●
A2.2	PROPOSED ROOF PLAN	●
A3.0	EXTERIOR ELEVATIONS	●
A3.1	EXTERIOR ELEVATIONS	●
A3.2	EXTERIOR ELEVATIONS	●
A3.3	EXTERIOR ELEVATIONS	●

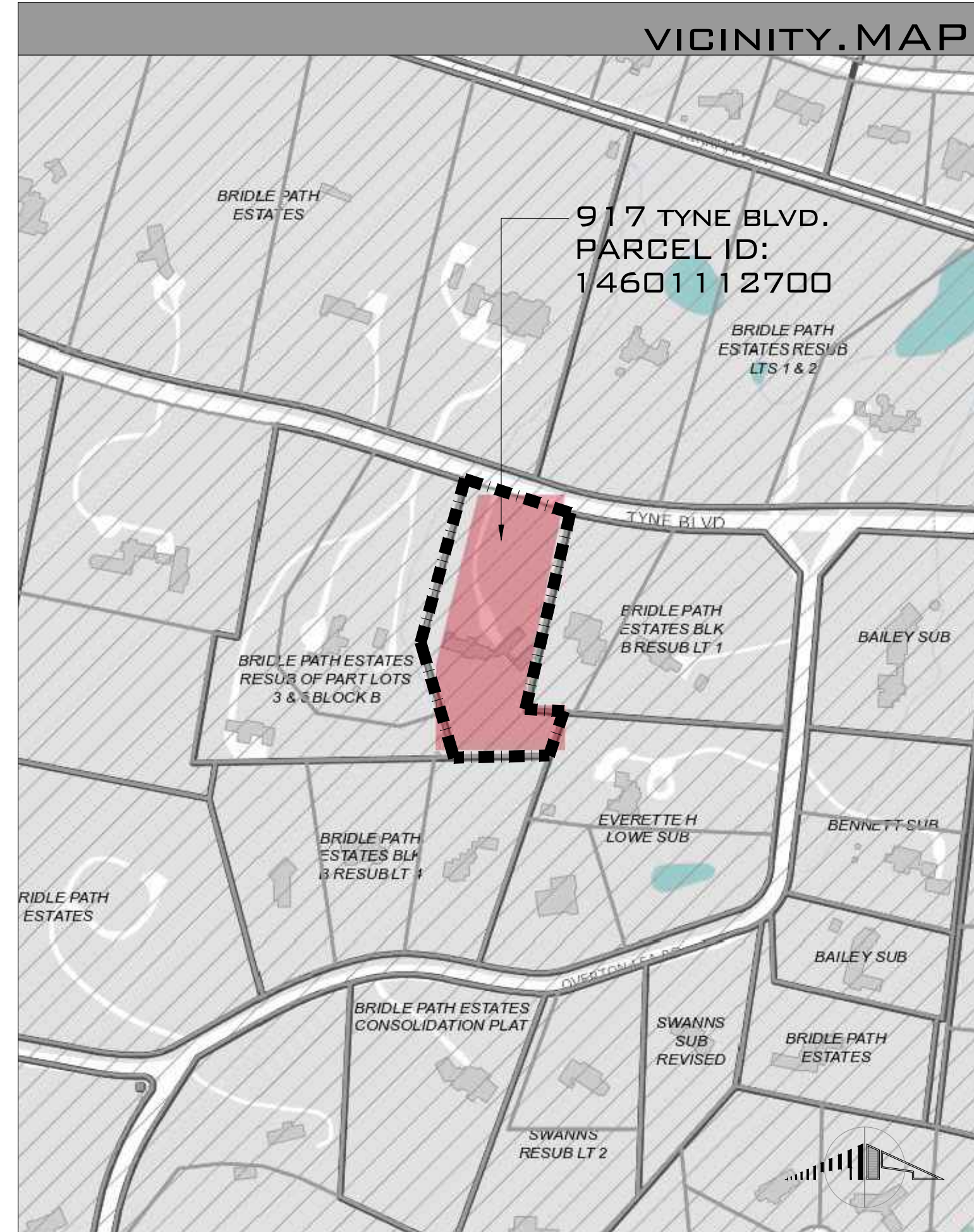


CHRISTOPHER DAVIS  
KEVIN STEPHENSON



OWNER:  
JOSH AND KATY WHALEN  
LOCATION:  
917 TYNE BLVD.  
NASHVILLE, TN 37220

08 | 2023 (BZA)  
NOT FOR CONSTRUCTION



PROJECT SUMMARY

**ADDRESS:** 917 TYNE BLVD. NASHVILLE, TN 37220

**PROJECT SCOPE:** NEW SINGLE FAMILY RESIDENCE  
6 BEDROOM, 5.5 BATH, HOME GYM  
ATTACHED SCREENED PORCH  
4 CAR ATTACHED GARAGE  
NEW POOL, NEW HARDSCAPE  
NEW DRIVEWAY

**ZONING:** RESIDENTIAL ZONE F

**LOT SIZE:** 4.22 ACRES, 183,665 SF

**MAX LOT COVERAGE:** 20% W/ MAX OF 37,000 SF  
**ALLOWABLE:** 36,733 SF  
**PROPOSED:** 21,000 SF = 11%

**MAX FAR:** 14% WITH A MAX OF 18,000SF  
**ALLOWABLE:** (14% = 25,713 SF) 18,000 SF MAX  
**PROPOSED:** 8,275 SF = 4.5%

**MAX BUILDING HEIGHT ALLOWED:** 42'  
**PROPOSED:** 34'-2"

**MAX STORIES ALLOWED:** 3 FLOORS  
**PROPOSED:** 2 FLOORS

**HEATED/COOLED SPACE:** 6,613 SF

**LOT DEPTH/WIDTH RATIO:** 646'-3":262'-6" = 2.46:1 (4:1 MAX)

**BZA VARIANCE REQUEST FOR REMOVAL OF 9 TREES WITH D.B.H. OF 8" OR GREATER SEE TREE INVENTORY, TREE CANOPY & REMOVAL CALCULATIONS ON A0.3**

AREA CALCULATIONS

MAIN LEVEL:	6,104 SF
SCREENED PORCH:	662 SF
GARAGE:	1,000 SF
BASEMENT:	509 SF
GRAND TOTAL:	8,275 SF

SYMBOLS LEGEND

ROOM NAME XXXX	— AREA NAME — AREA NUMBER
101	— DOOR NUMBER
X/AXX ELEVATION	— EXTERIOR ELEVATION NUMBER — EXTERIOR ELEVATION SHEET NUMBER
O X AX X	— DETAIL NUMBER — DETAIL SHEET NUMBER
SECTION X/AXX	— BUILDING SECTION NUMBER — BUILDING SECTION SHEET NUMBER
ELEVATION LEVEL	— SPOT ELEVATION REFERENCE
X	— WINDOW TYPE — INTERIOR GLASS TYPE — SKYLIGHT TYPE
X/AXX X/AXX	— NORTH ARROW
X/AXX X/AXX	— INTERIOR ELEVATION REFERENCE
X/AXX X/AXX	— CHANGE IN FLOOR OR CEILING ELEVATION

PROJECT TEAM

**OWNER**  
JOSH AND KATY WHALEN  
1138 BROOKMEADE DRIVE  
NASHVILLE, TN 37204

**ARCHITECT**  
BOSS ARCHITECTURE  
CHRIS DAVIS  
KEVIN STEPHENSON  
2546 15TH STREET  
DENVER, COLORADO 80211

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chris@bossarchitecture.com  
kevin@bossarchitecture.com

**GENERAL CONTRACTOR**  
ROGERS BUILD

615.906.2266  
austin@rogersbuild.com

**CIVIL ENGINEER**  
COLLECTED CIVIL ENGINEERING  
PETER ROMANO, PE  
921 B WOODLAND STREET  
NASHVILLE, TN 37206

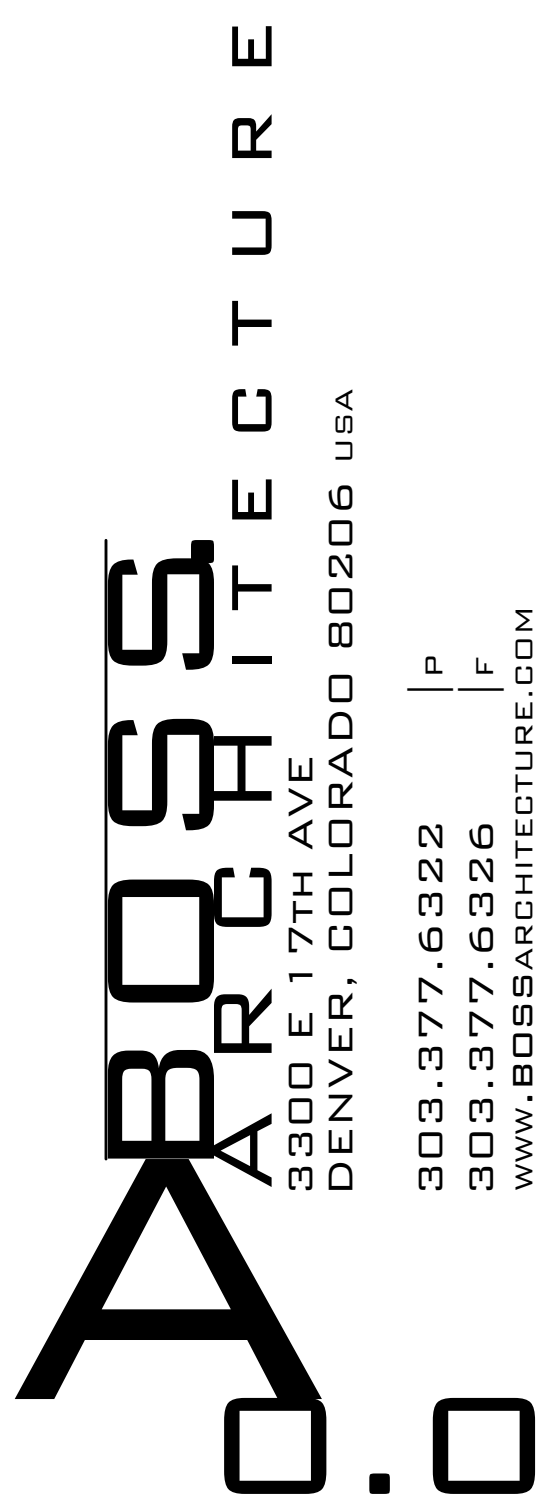
615.917.0191  
PETER@COLLECTEDCIVIL.COM

BUILDING CODE INFORMATION

**APPLICABLE CODES**

2018 IBC  
2017 ANSI 117.1  
2018 IRC  
2018 IECC  
2017 NEC

NASH.2.0



COVER SHEET



**2018 IECC COMPLIANCE NOTES**

INSULATION & R-VALUES		
UNVENTED ROOF	R-49 MIN.	7.5" OF CLOSED CELL SPRAY FOAM @ R-6.7/IN. = R-50.25 PROVIDE NO BURN (OR SIM.) IGNITION BARRIER IN UNCONDITIONED ATTIC SPACE PER CODE (IF APPLICABLE)
FLAT ROOF AT MUDROOM ADDITION	R-49 MIN.	4.5" THICK POLYISO RIGID FOAM INSULATION @ R-6.5/IN. = 29.25 WITH 3" OF CLOSED CELL SPRAY FOAM @ R-6.7/IN. = 20.1 TOTAL INSULATION R VALUE: 49.35
EXTERIOR WOOD FRAME WALLS	R-20 MIN.	3" OF CLOSED CELL SPRAY FOAM @ R-6.7/IN. = R20.1 w/ CLASS I OR II VAPOR RETARDER,
BASEMENT WALLS /	R-10/13	2" OF CLOSED CELL SPRAY FOAM @ R-6.7/IN. = R13.4 w/ CLASS I OR II VAPOR RETARDER,
SLAB	R-10 MIN. 2"	2" RIGID INSULATION UNDER SLABS ON GRADE OR LESS THAN 24" BELOW GRADE 1" RIGID INSULATION PROVIDED AT ALL OTHER SLABS
CRAWL SPACE	R-13	FIBERGLASS INSULATION BLANKETS OR SPRAY FOAM
FENESTRATION U VALUES		
WINDOWS	U-.32	SIERRA PACIFIC ALUMINUM CLAD WOOD WINDOWS AND DOORS, DUAL-PANE INSULATED W/ LOW E COATING
DOORS (PATIO)	U-.30	SIERRA PACIFIC ALUMINUM CLAD WOOD WINDOWS AND DOORS, DUAL-PANE INSULATED W/ LOW E COATING
SKYLIGHTS	U-.55	SKYLIGHT, W/ TEMPERED GLASS ARGON FILLED, W/ LOW E COATING

ALL HVAC DUCTWORK IS LOCATED WITHIN THE THERMAL ENVELOPE AND THEREFORE DOES NOT REQUIRE INSULATION  
ALL INTERIOR PARTITION WALLS SHALL BE FILLED W/ ACOUSTIC BATT INSULATION (TYP.)  
ALL FLOOR / CEILING CAVITIES SHALL BE FILLED W/ ACOUSTIC BATT INSULATION (TYP.)

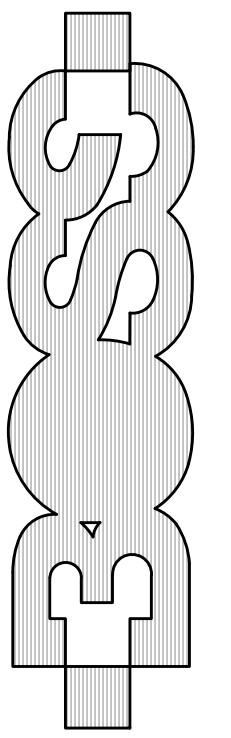
**AIR BARRIER & INSULATION INSTALLATION**

THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE W/ THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN IECC TABLE R402.4.1.1, AS ENUMERATED BELOW, WHETHER OR NOT INDICATED ON THE DRAWINGS:

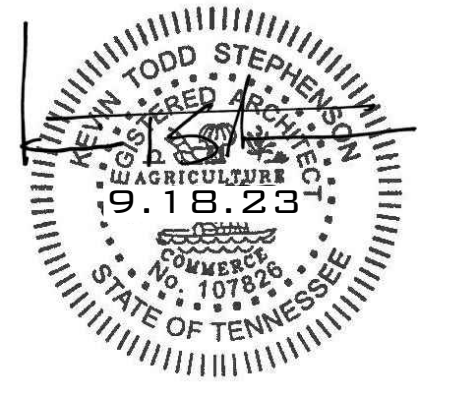
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILINGS/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED W/ THE INSULATION & ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED W/ THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION & SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE & THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS & HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY W/ A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT W/ THE AIR BARRIER.
WINDOWS, SKYLIGHTS, & DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS & FRAMING, & SKYLIGHTS & FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT W/ THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATIONS SHALL BE PERMITTED TO BE IN CONTACT W/ THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING & EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED W/ A CLASS I VAPOR RETARDER W/ OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, & FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE & CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT & IC RATED.
PLUMBING & WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING & PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING & WIRING.
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL SEPARATE THEM FROM THE SHOWERS & TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL BE INSULATED
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES & WALLS OR CEILINGS.	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES & WALLS OR CEILINGS.

**GENERAL NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE W/ THE 2018 IRC, ALL OAKHILL & METRO AMENDMENTS TO THE CODE & ALL FEDERAL, STATE & LOCAL CODES & AGENCIES HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR & RESPECTIVE SUB-CONTRACTORS TO BUILD TO SATISFY THESE CODES & CALL FOR ALL NECESSARY INSPECTIONS.
- CONTRACTOR SHALL VERIFY & COORDINATE ALL NEW & EXISTING CONDITIONS & DIMENSIONS @ JOB SITE FOR COMPARISON W/ DWG'S & SPECIFICATIONS PRIOR TO BIDDING & START OF & DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING W/ WORK.
- DO NOT SCALE DWG'S. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR & COORDINATED W/ ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
- DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATION, & DETAILS ARE TO FACE OF WOOD FRAMING AND TO FINISH FACE OF MASONRY, CONC. OR GRID LINES, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ON THE ARCHITECTURAL DRAWINGS LOCATING STRUCTURAL STEEL OR HEAVY TIMBER MEMBERS ARE TO CENTERLINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL COLUMN COORDINATES & CHECK THEM AGAINST DIMENSIONS SHOWN ON PLANS & DETAILS. CONSTRUCTION MANAGER SHOULD BE NOTIFIED OF ANY DISCREPANCIES DURING STAKING.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- "V.I.F. OR F.V." ON DWG'S REFERS TO FIELD VERIFICATION FOR CORRECT DIMENSIONS & CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.  
CFOI - CONTRACTOR FURNISHED CONTRACTOR INSTALLED  
OFOI - OWNER FURNISHED CONTRACTOR INSTALLED  
OFOI - OWNER FURNISHED OWNER INSTALLED
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDE, BUT NOT LIMITED TO: STRUCT. MEMBERS, MECH. DUCTS & INSUL., LIGHT FIXTURES, CEILING SYSTEMS, & ANY SPECIAL STRUCT. SUPPORTS REQUIRED) & SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE T.O. SUBFLOOR INDICATED IN THE WALL SECTIONS & THE REFLECTED CEILING PLANS. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING).
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL WALL & CEILING FRAMING MEMBERS TO FACILITATE THE INSTALLATION OF ALL WALL & CEILING MOUNTED ELECT. & MECH. DEVICES, ETC., PER THE ARCHITECT'S DWG'S. RE: INTERIOR ELEVATIONS, & REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DEVICES. IF NOT INDICATED, COORDINATE LOCATIONS W/ ARCHITECT PRIOR TO INSTALLATION.
- ACCESS PANELS SHALL BE PROVIDED & INSTALLED WHEREVER REQUIRED BY BLDG. CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECH. OR ELECT. EQUIPMENT, WHETHER OR NOT INDICATED ON THE DWG'S. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, & TYPE OF ACCESS PANEL W/ OTHER CONTRACTORS' WORK & RECEIVE APPROVAL OF THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED W/O THE EXPRESSED APPROVAL OF THE ARCHITECT. CLAD & PAINT PANELS TO MATCH ADJACENT FINISHED CONDITION (PROVIDE FOR INTEGRATED LOOK TO WALL OR CEILING ASSEMBLY BY ANY MEANS NECESSARY) OR AS APPROVED BY ARCHITECT.
- IN THE CASE OF A CONFLICT BETWEEN THE DWG'S & THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. IN THE CASE OF A CONFLICT IN THE DWG'S & DETAILS, THE DWG'S W/ THE LARGER SCALE OR THE ASSEMBLY WHICH PRODUCES THE HIGHER QUALITY ASSEMBLY & FINISH SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING W/ THE WORK.
- ALL DUCT PENETRATIONS THROUGH PARTITIONS & CEILING SHALL BE PROVIDED W/ THE NECESSARY FRAMES & BRACING AROUND THE OPENING.
- THE SPECIFICATIONS & ALL CONSULTANT DWG'S ARE SUPPLEMENTAL TO THE ARCHITECTURAL DWG'S IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE W/ THE ARCHITECTURAL DWG'S BEFORE THE INSTALLATION OF ANY OF THE CONSULTANTS' WORK & TO BRING ANY DISCREPANCIES OR CONFLICTS TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR @ HIS/HER EXPENSE & @ NO EXPENSE TO THE ARCHITECT, HIS CONSULTANTS, OR THE OWNER.
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BLDG. IS EITHER EXPEDIENT OR NECESSARY. PRIOR TO PROCEEDING W/ WORK, REINFORCEMENT &/OR SUPPORT SATISFACTORY TO ARCHITECTS & STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR.
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY LOCAL REGULATIONS & COUNTY CODE.
- FINAL CLEAN UP & DISPOSAL: REMOVE DEBRIS, RUBBISH & WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA & PAY ALL HAULING & DUMPING COSTS. CONFORM TO PERTAINING FEDERAL, STATE & LOCAL LAWS, REGULATIONS & ORDERS. UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN & FREE FROM DEBRIS. CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, & OTHER BLEMISHES.
- IF THE CONTRACTOR ASCERTAINS @ ANY TIME THAT REQUIREMENT OF THIS CONTRACT CONFLICT W/, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS & ORDINANCES, HE/SHE SHALL NOT PROCEED W/ WORK IN QUESTION, EXCEPT @ HIS/HER OWN RISK, UNTIL THE ARCHITECT HAS BEEN NOTIFIED IN WRITING & WRITTEN DETERMINATION IS MADE BY THE ARCHITECT. WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION W/ APPLICABLE LAWS, CODES, REGULATIONS & ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT & REPLACE SUCH WORK W/ ALL NEW COMPLYING WORK @ NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- ANY WORK INSTALLED IN CONFLICT W/ THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR @ HIS/HER EXPENSE & @ NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.
- STAIR ASSEMBLY:  
HEADROOM 6'-8" MIN AND WIDTH 3'-0" MIN  
THE MAXIMUM RISER HEIGHT SHALL BE 7'-3/4". OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING BETWEEN TREADS IS LESS THAN 4".  
THE MINIMUM TREAD DEPTH SHALL BE 10"  
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38". HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM THE TOP TO THE BOTTOM RISER. HANDRAILS SHALL RETURN. HANDRAILS ADJACENT TO A WALL SHALL BE A SPACE OF NOT LESS THAN 1-1/2" FROM THE WALL TO THE HANDRAIL.  
OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A SPHERE OF 4" OR MORE IN DIAMETER CANNOT PASS THROUGH. DOORS TO THE EXTERIOR SHALL HAVE A MAX 7-3/4" STEP TO A MINIMUM 36" DEEP LANDING, BUT THE DOOR MAY NOT SWING OVER THE LANDING.  
PORCHES, BALCONIES OR RAISED FLOOR SURFACES MORE THAN 30" ABOVE THE FLOOR OR GRADE SHALL HAVE GUARD RAILS NOT LESS THAN 36" IN HEIGHT.



**CHRISTOPHER DAVIS**  
**KEVIN STEPHENSON**



OWNER:  
**JDSH AND KATY WHALEN**  
LOCATION:  
**917 TYNE BLVD.  
NASHVILLE, TN 37220**

⌘ 2023 (B2A)  
**NOT FOR CONSTRUCTION**

**NASH.2.0**

**ABOBOS ARCHITECTURE**  
3300 E 17TH AVE  
DENVER, COLORADO 80206 USA

**GENERAL NOTES  
AND ASSEMBLIES**

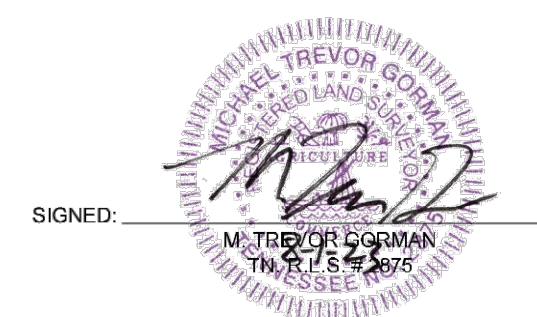
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303.377.6326 | F  
WWW.ABOBOSARCHITECTURE.COM



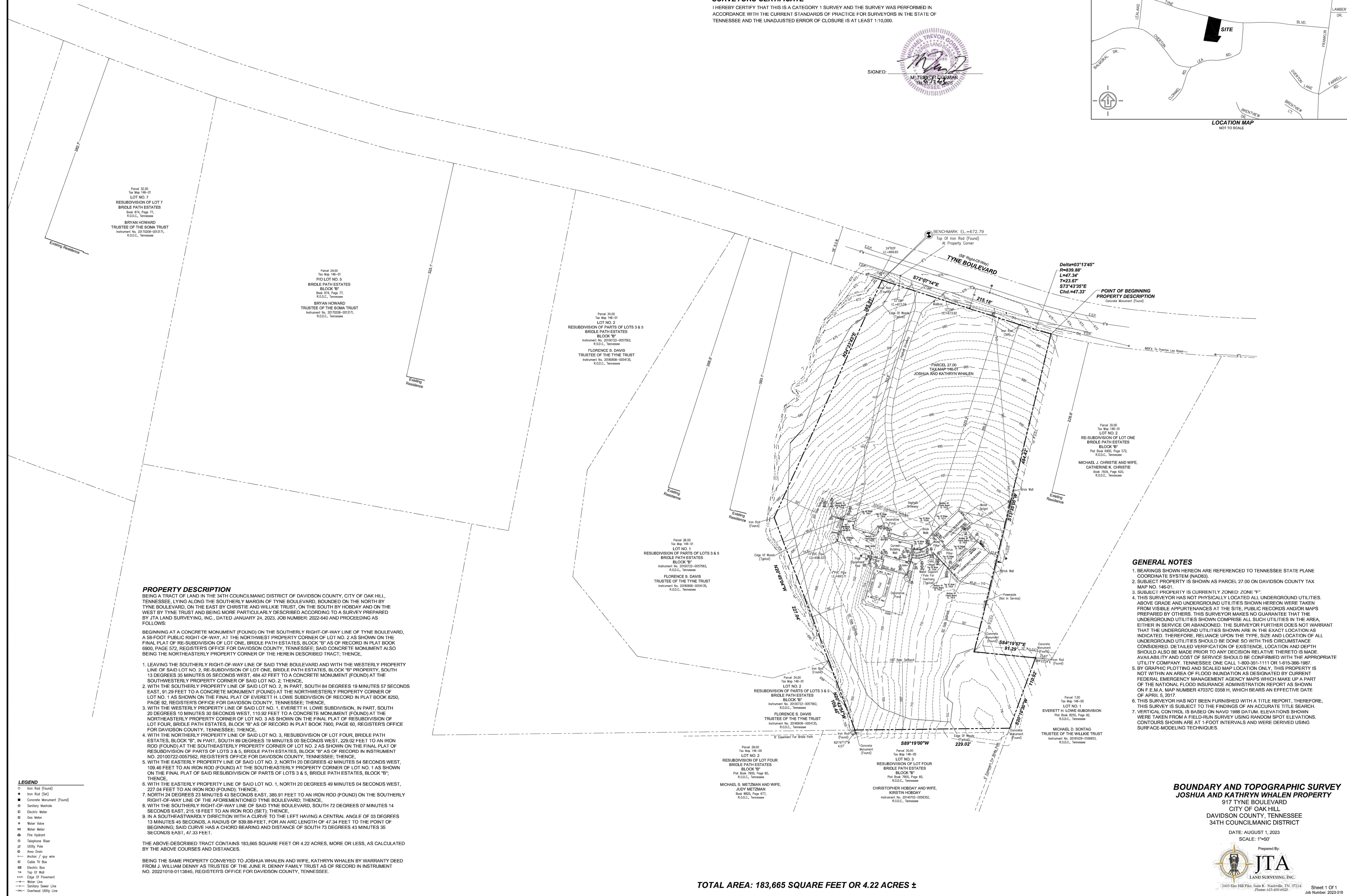
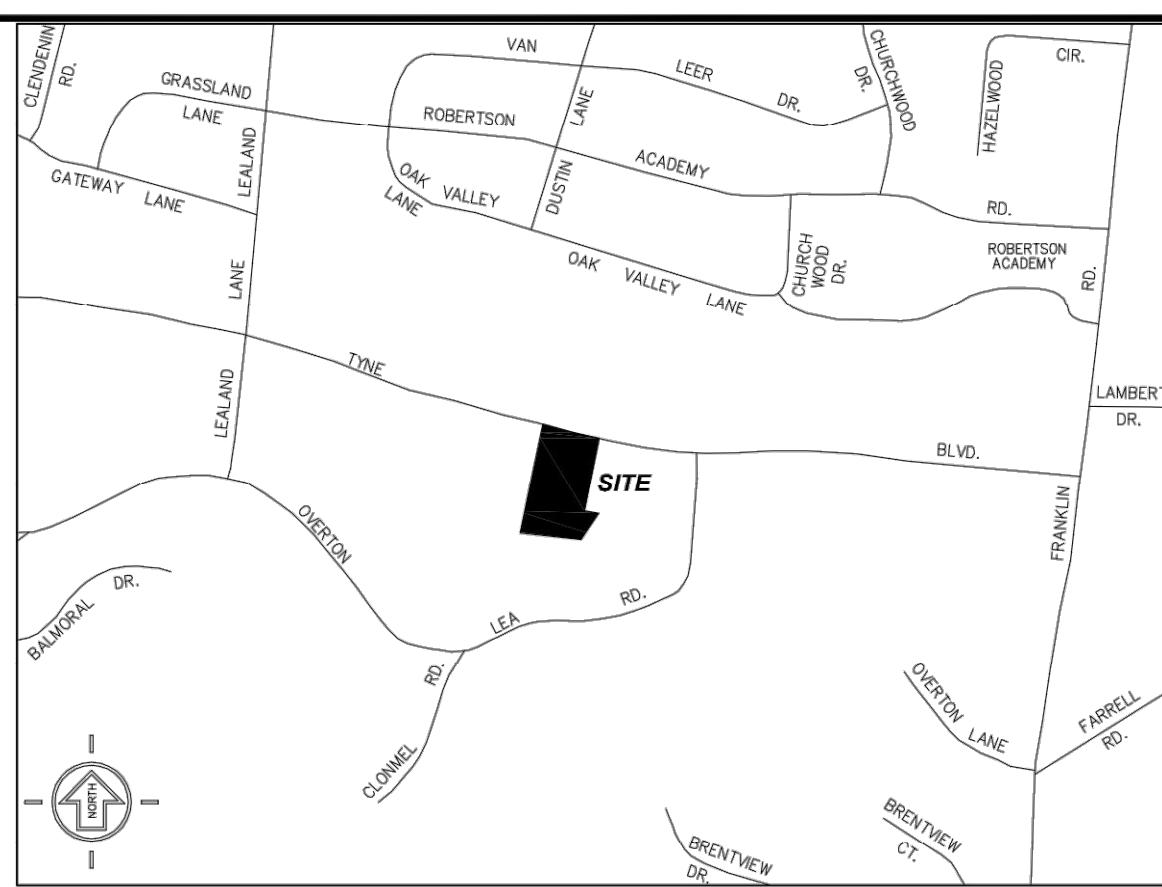


**SURVEYORS CERTIFICATE**

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS OF PRACTICE FOR SURVEYORS IN THE STATE OF TENNESSEE AND THE UNADJUSTED ERROR OF CLOSURE IS AT LEAST 1:10,000.



SIGNED:



Parcel 32.00  
To Map 146-01  
LOT NO. 7  
RESUBDIVISION OF LOT 7  
BRIDLE PATH ESTATES  
BLOCK "B"  
Map 146-01, Page 71,  
R.O.C., Tennessee  
BRYAN HOWARD  
TRUSTEE OF THE SCMA TRUST  
Instrument No. 201708-00371,  
R.O.C., Tennessee

Parcel 32.00  
To Map 146-01  
LOT NO. 5  
BRIDLE PATH ESTATES  
BLOCK "B"  
Map 146-01, Page 71,  
R.O.C., Tennessee  
BRYAN HOWARD  
TRUSTEE OF THE SCMA TRUST  
Instrument No. 201708-00371,  
R.O.C., Tennessee

Parcel 34.00  
To Map 146-01  
LOT NO. 2  
RESUBDIVISION OF PARTS OF LOTS 3 & 5  
BRIDLE PATH ESTATES  
BLOCK "B"  
Instrument No. 201702-00592,  
R.O.C., Tennessee  
FLORENCE S. DAVIS  
TRUSTEE OF THE TYNE TRUST  
Instrument No. 201806-00403,  
R.O.C., Tennessee

Parcel 32.00  
To Map 146-01  
LOT NO. 1  
RESUBDIVISION OF PARTS OF LOTS 3 & 5  
BRIDLE PATH ESTATES  
BLOCK "B"  
Instrument No. 201702-00592,  
R.O.C., Tennessee  
FLORENCE S. DAVIS  
TRUSTEE OF THE TYNE TRUST  
Instrument No. 201806-00403,  
R.O.C., Tennessee

Parcel 32.00  
To Map 146-01  
LOT NO. 2  
RESUBDIVISION OF LOT FOUR  
BRIDLE PATH ESTATES  
BLOCK "B"  
Map 146-01, Page 61,  
R.O.C., Tennessee  
MICHAEL S. METZMAN AND WIFE,  
JOY METZMAN

Parcel 32.00  
To Map 146-01  
LOT NO. 3  
RESUBDIVISION OF LOT FOUR  
BRIDLE PATH ESTATES  
BLOCK "B"  
Map 146-01, Page 61,  
R.O.C., Tennessee  
CHRISTOPHER HOBDAY AND WIFE,  
KATHRYN HOBDAY

Parcel 32.00  
To Map 146-01  
LOT NO. 1  
RESUBDIVISION OF LOT ONE  
BRIDLE PATH ESTATES  
BLOCK "B"  
Ref. Map 146-01, Page 57,  
R.O.C., Tennessee  
MICHAEL J. CHRISTIE AND WIFE,  
CATHERINE K. CHRISTIE

**PROPERTY DESCRIPTION**

BEING A TRACT OF LAND IN THE 34TH COUNCILMANIC DISTRICT OF DAVIDSON COUNTY, CITY OF OAK HILL, TENNESSEE, LYING ALONG THE SOUTHERLY MARGIN OF TYNE BOULEVARD, BOUNDED ON THE NORTH BY TYNE BOULEVARD, ON THE EAST BY CHRISTIE AND WILKE TRUST, ON THE SOUTH BY HOBDAY AND ON THE WEST BY TYNE TRUST AND BEING MORE PARTICULARLY DESCRIBED ACCORDING TO A SURVEY PREPARED BY JTA LAND SURVEYING, INC., DATED JANUARY 24, 2023, JOB NUMBER: 2022-840 AND PROCEEDING AS FOLLOWS:

1. LEAVING THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID TYNE BOULEVARD AND WITH THE WESTERLY PROPERTY LINE OF SAID LOT NO. 2, RE-SUBDIVISION OF LOT ONE, BRIDLE PATH ESTATES, BLOCK "B" PROPERTY, SOUTH 13 DEGREES 35 MINUTES 05 SECONDS WEST, 484.42 FEET TO A CONCRETE MONUMENT (FOUND) AT THE SOUTHWESTERLY PROPERTY CORNER OF SAID LOT NO. 2; THENCE
2. WITH THE SOUTHERLY PROPERTY LINE OF SAID LOT NO. 2, IN PART, SOUTH 84 DEGREES 19 MINUTES 57 SECONDS EAST, 91.29 FEET TO A CONCRETE MONUMENT (FOUND) AT THE NORTHWESTERLY PROPERTY CORNER OF LOT NO. 1 AS SHOWN ON THE FINAL PLAT OF EVERETT H. LOWE SUBDIVISION OF RECORD IN PLAT BOOK 8250, PAGE 92, REGISTERS OFFICE FOR DAVIDSON COUNTY, TENNESSEE; THENCE
3. WITH THE WESTERLY PROPERTY LINE OF SAID LOT NO. 1, EVERETT H. LOWE SUBDIVISION, IN PART, SOUTH 20 DEGREES 10 MINUTES 30 SECONDS WEST, 110.92 FEET TO A CONCRETE MONUMENT (FOUND) AT THE NORTHEASTERLY PROPERTY CORNER OF LOT NO. 3 AS SHOWN ON THE FINAL PLAT OF RESUBDIVISION OF LOT FOUR, BRIDLE PATH ESTATES, BLOCK "B" AS OF RECORD IN PLAT BOOK 7500, PAGE 60, REGISTERS OFFICE FOR DAVIDSON COUNTY, TENNESSEE; THENCE
4. WITH THE NORTHERLY PROPERTY LINE OF SAID LOT NO. 3, RESUBDIVISION OF LOT FOUR, BRIDLE PATH ESTATES, BLOCK "B", IN PART, SOUTH 89 DEGREES 19 MINUTES 00 SECONDS WEST, 229.02 FEET TO AN IRON ROD (FOUND) AT THE SOUTHEASTERLY PROPERTY CORNER OF LOT NO. 2 AS SHOWN ON THE FINAL PLAT OF RESUBDIVISION OF PARTS OF LOTS 3 & 5, BRIDLE PATH ESTATES, BLOCK "B" AS OF RECORD IN INSTRUMENT NO. 201702-00592, REGISTERS OFFICE FOR DAVIDSON COUNTY, TENNESSEE; THENCE
5. WITH THE EASTERLY PROPERTY LINE OF SAID LOT NO. 2, NORTH 20 DEGREES 42 MINUTES 54 SECONDS WEST, 109.46 FEET TO AN IRON ROD (FOUND) AT THE SOUTHEASTERLY PROPERTY CORNER OF LOT NO. 1 AS SHOWN ON THE FINAL PLAT OF SAID RESUBDIVISION OF PARTS OF LOTS 3 & 5, BRIDLE PATH ESTATES, BLOCK "B"; THENCE
6. WITH THE EASTERLY PROPERTY LINE OF SAID LOT NO. 1, NORTH 20 DEGREES 49 MINUTES 04 SECONDS WEST, 227.04 FEET TO AN IRON ROD (FOUND); THENCE
7. NORTH 24 DEGREES 23 MINUTES 43 SECONDS EAST, 385.91 FEET TO AN IRON ROD (FOUND) ON THE SOUTHERLY RIGHT-OF-WAY LINE OF THE ABOVE-MENTIONED TYNE BOULEVARD; THENCE
8. WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID TYNE BOULEVARD, SOUTH 72 DEGREES 07 MINUTES 14 SECONDS EAST, 215.16 FEET TO AN IRON ROD (B.T.); THENCE
9. IN A SOUTHEASTERLY DIRECTION WITH A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 03 DEGREES 13 MINUTES 45 SECONDS, A RADIUS OF 839.88 FEET, FOR AN ARC LENGTH OF 47.34 FEET TO THE POINT OF BEGINNING, SAID CURVE HAS A CHORD BEARING AND DISTANCE OF SOUTH 73 DEGREES 43 MINUTES 35 SECONDS EAST, 47.33 FEET.

THE ABOVE-DESCRIBED TRACT CONTAINS 183,665 SQUARE FEET OR 4.22 ACRES, MORE OR LESS, AS CALCULATED BY THE ABOVE COURSES AND DISTANCES.

BEING THE SAME PROPERTY CONVEYED TO JOSHUA WHALEN AND WIFE, KATHRYN WHALEN BY WARRANTY DEED FROM J. WILLIAM DENNY AS TRUSTEE OF THE JUNE H. DENNY FAMILY TRUST AS OF RECORD IN INSTRUMENT NO. 20221018-0113845, REGISTERS OFFICE FOR DAVIDSON COUNTY, TENNESSEE.

**GENERAL NOTES**

1. BEARINGS SHOWN HEREON ARE REFERENCED TO TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83).
2. SUBJECT PROPERTY IS SHOWN AS PARCEL 27.00 ON DAVIDSON COUNTY TAX MAP NO. 146-01.
3. SUBJECT PROPERTY IS CURRENTLY ZONED: ZONE "P".
4. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM VISIBLE APURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERE TO AS MAKE AVAILABILITY AND COST OF SERVICE SHOULD BE CONFERRED WITH THE APPROPRIATE UTILITY COMPANY. TENNESSEE ONE CALL 1-800-361-1111 OR 1-615-366-1887.
5. BY GRAPHIC PLOTTING AND SCALES MAP LOCATION ONLY. THIS PROPERTY IS NOT WITHIN AN AREA OF FLOOD INUNDATION AS DESIGNATED BY CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT AS SHOWN ON F.E.M.A. MAP NUMBER 47037C 0308 H, WHICH BEARS AN EFFECTIVE DATE OF APRIL 5, 2017.
6. THIS SURVEYOR HAS NOT BEEN FURNISHED WITH A TITLE REPORT; THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH.
7. VERTICAL CONTROL IS BASED ON NAVD 1989 DATUM. ELEVATIONS SHOWN WERE TAKEN FROM A FIELD-RUN SURVEY USING RANDOM SPOT ELEVATIONS. CONTOURS SHOWN ARE AT 1-FOOT INTERVALS AND WERE DERIVED USING SURFACE-MODELING TECHNIQUES.

**BOUNDARY AND TOPOGRAPHIC SURVEY  
JOSHUA AND KATHRYN WHALEN PROPERTY**

917 TYNE BOULEVARD  
CITY OF OAK HILL  
DAVIDSON COUNTY, TENNESSEE  
34TH COUNCILMANIC DISTRICT

DATE: AUGUST 1, 2023  
SCALE: 1"=50'



3203 Glen Hill Pike, Suite 8, Nashville, TN 37214  
Phone: 615-651-6522  
Sheet 1 of 1  
Job Number: 2023-818

TOTAL AREA: 183,665 SQUARE FEET OR 4.22 ACRES ±

NASH.2.0

ARCHITECTURE

0.2

SURVEY

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303.377.6322 | P  
303.377.6326 | F

OWNERS:  
JOSH AND KATY WHALEN  
LOCATION:  
917 TYNE BLVD.  
NASHVILLE, TN 37220

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BOS ARCHITECTURE, LLC

CHRISTOPHER DAVIS  
KEVIN STEPHENSON

TODD STEPHENSON  
REGISTERED SURVEYOR  
NO. 10784  
STATE OF TENNESSEE  
9.18.23



- EX. TREE GROUP CANOPY
- EX. INDIVIDUAL TREE CANOPY
- PROPOSED TREE CANOPY TO REMOVE



9 TREES PROPOSED FOR REMOVAL WITH D.B.H. OF 8" OR GREATER, DUE TO LOCATION BEING WITHIN EXTENT OF PROPOSED HOUSE OR DRIVE

PROPOSED REMOVAL OF 40" HACKBERRY DRIP LINE WITHIN FOOTPRINT OF NEW DRIVE

PROPOSED REMOVAL OF 16" HACKBERRY DRIP LINE WITHIN FOOTPRINT OF NEW DRIVE

PROPOSED REMOVAL OF 16" CEDAR DRIP LINE WITHIN FOOTPRINT OF NEW SITE RETAINING WALL, ENTRY PATH AND AUTO COURT

PROPOSED REMOVAL OF 32" ASH WITHIN FOOTPRINT OF NEW HOUSE

PROPOSED REMOVAL OF 12" HOLLY WITHIN FOOTPRINT OF NEW HOUSE

PROPOSED REMOVAL OF 12" CHERRY DRIP LINE WITHIN FOOTPRINT OF NEW HOUSE

PROPOSED REMOVAL OF 12" ASH WITHIN FOOTPRINT OF NEW HOUSE

PROPOSED REMOVAL OF 28" HOLLY WITHIN FOOTPRINT OF NEW HOUSE

2, 6" CEDARS TO BE REMOVED VARIANCE NOT REQUIRED

PROPOSED EXTENT OF NEW SINGLE FAMILY DWELLING

TREE CANOPY CALCULATIONS	
LOT SIZE	183,665
EXISTING TREE CANOPY SF	72,762
EXISTING TREE CANOPY %	39%
MIN. % OF EX. TREES THAT SHALL BE RETAINED	66%
TREES RETAINED AND PROTECTED SF	66,839
TREES RETAINED AND PROTECTED % OF EX.	91%

### PROPOSED TREE REMOVAL AND CANOPY PLAN

1 : 1/32"

NORTH

### TREE INVENTORY TABLE

TREES INDIVIDUAL	DBH	TREE TYPE	CANOPY SF	KEEP OR REMOVE	REPLACE	REMOVAL	NOTES
4"		DOGWOOD	182	KEEP			
14"		OAK	226	KEEP			
6"		OAK	184	KEEP			
20"		PINE	335	REMOVE	NO		DRIFLINE OVER NEW DRIVE
(14)20"		HACKBERRY	1,473	REMOVE	NO		DRIFLINE OVER NEW DRIVE
(2)16"		HACKBERRY	620	REMOVE	NO		DRIFLINE OVER NEW DRIVE
16"		CEDAR	271	REMOVE	NO		DRIFLINE OVER NEW ENTRY PATH
12"		HOLLY	212	REMOVE	NO		WITHIN FOOTPRINT OF NEW HOUSE
32"		ASH	1,024	REMOVE	NO		WITHIN FOOTPRINT OF NEW HOUSE
(2)12"		CHERRY	480	REMOVE	NO		DRIFLINE OVER NEW HOUSE / CLOSE TO FOUNDATION
6"		CEDAR	132	REMOVE	NO		UNDER 8" DBH, NO VARIANCE REQUIRED
6"		CEDAR	143	REMOVE	NO		UNDER 8" DBH, NO VARIANCE REQUIRED
(6)12"		ASH	226	REMOVE	NO		WITHIN FOOTPRINT OF NEW HOUSE
28"		HOLLY	607	REMOVE	NO		WITHIN FOOTPRINT OF NEW HOUSE
8"		PERSIMMON	278	KEEP			
12"		CEDAR	202	KEEP			
14"		HACKBERRY	509	KEEP			

TREES IN GROUP	DBH	TREE TYPE	CANOPY SF	KEEP OR REMOVE	REPLACE	REMOVAL
GROUP 1	22"	HOLLY				
	30"	OAK				
	10"	ASH				
	24"	ASH				
	24"	ASH				
	6"	ELM				
	(2)12"	ELM				
	30"	ASH				
	12"	ASH				
	16"	ASH				
	(3)40"	OAK				
	24"	ASH				
	8"	HACKBERRY				
	(3)10"	HACKBERRY				
	14"	HACKBERRY				
	16"	CEDAR				
	(2)14"	HACKBERRY				
	TOTAL		5,057	KEEP		
GROUP 2	40"	HACKBERRY				
	16"	POPLAR				
	TOTAL		2,083	KEEP		
GROUP 3	(2)38"	OAK				
	14"	HACKBERRY				
	14"	REDBUD				
	30"	OAK				
	40"	ASH				
	18"	OAK				
	32"	OAK				
	TOTAL		9,244	KEEP		
GROUP 4	36"	CEDAR				
	48"	HICKORY				
	18"	PINE				
	36"	OAK				
	24"	OAK				
	30"	OAK				
	30"	OAK				
	12"	CEDAR				
	20"	OAK				
	24"	OAK				
	30"	OAK				
	10"	CEDAR				
	16"	OAK				
	30"	OAK				
	24"	OAK				
	TOTAL		11,930	KEEP		
GROUP 5	24"	OAK				
	14"	OAK				
	TOTAL		1,080	KEEP		
GROUP 6	60"	OAK				
	10"	ASH				
	30"	ASH				
	40"	ASH				
	TOTAL		5,502	KEEP		
GROUP 7	14"	HACKBERRY				
	36"	OAK				
	12"	ASH				
	12"	ASH				
	36"	HACKBERRY				
	10"	HACKBERRY				
	30"	OAK				
	12"	OAK				
	22"	OAK				
	16"	CHERRY				
	(2)20"	OAK				
	20"	OAK				
	12"	ELM				
	14"	ELM				
	6"	HICKORY				
	18"	OAK				
	32"	ASH				
	(3)18"	CEDAR				
	12"	HACKBERRY				
	12"	PERSIMMON				
	8"	HACKBERRY				
	(2)16"	HACKBERRY				
	10"	HACKBERRY				
	10"	HACKBERRY				
	10"	HACKBERRY				
	10"	HACKBERRY				
	10"	OAK				
	20"	HACKBERRY				
	8"	PERSIMMON				
	8"	ASH				
	24"	ASH				
	6"	HACKBERRY				
	10"	HACKBERRY				
	8"	HACKBERRY				
	18"	ASH				
	6"	HACKBERRY				
	8"	PERSIMMON				
	8"	HACKBERRY				
	6"	OAK				
	8"	OAK				
	8"	HACKBERRY				
	16"	PERSIMMON				
	12"	PERSIMMON				
	12"	PERSIMMON				
	14"	OAK				
	6"	OAK				
	16"	OAK				
	6"	HACKBERRY				
	14"	HACKBERRY				
	6"	HACKBERRY				
	10"	HACKBERRY				
	12"	OAK				
	16"	HACKBERRY				
	30"	ASH				
	14"	OAK				
	8"	OAK				
	16"	OAK				
	6"	HACKBERRY				
	8"	HACKBERRY				
	16"	PERSIMMON				
	12"	PERSIMMON				
	10"	HACKBERRY				
	(2)10"	OAK				
	(2)10"	OAK				
	(2)20"	OAK				
	TOTAL		30,160	KEEP		



TREE CANOPY TOTALS		
GROUP TREE CANOPY TOTAL SF	65,056	KEEP
INDIVIDUAL TREE CANOPY TOTAL SF	1,783	KEEP
TREE CANOPY REMOVED SF	5,923	REMOVED

### TREE INVENTORY AND CANOPY PLAN

1 : 1/32"

NORTH

**NASH.2.0**

**ARCHITECTURE**

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**OWNER:**  
JDOSH AND KATY WHALEN

**LOCATION:**  
917 TYNE BLVD.  
NASHVILLE, TN 37220

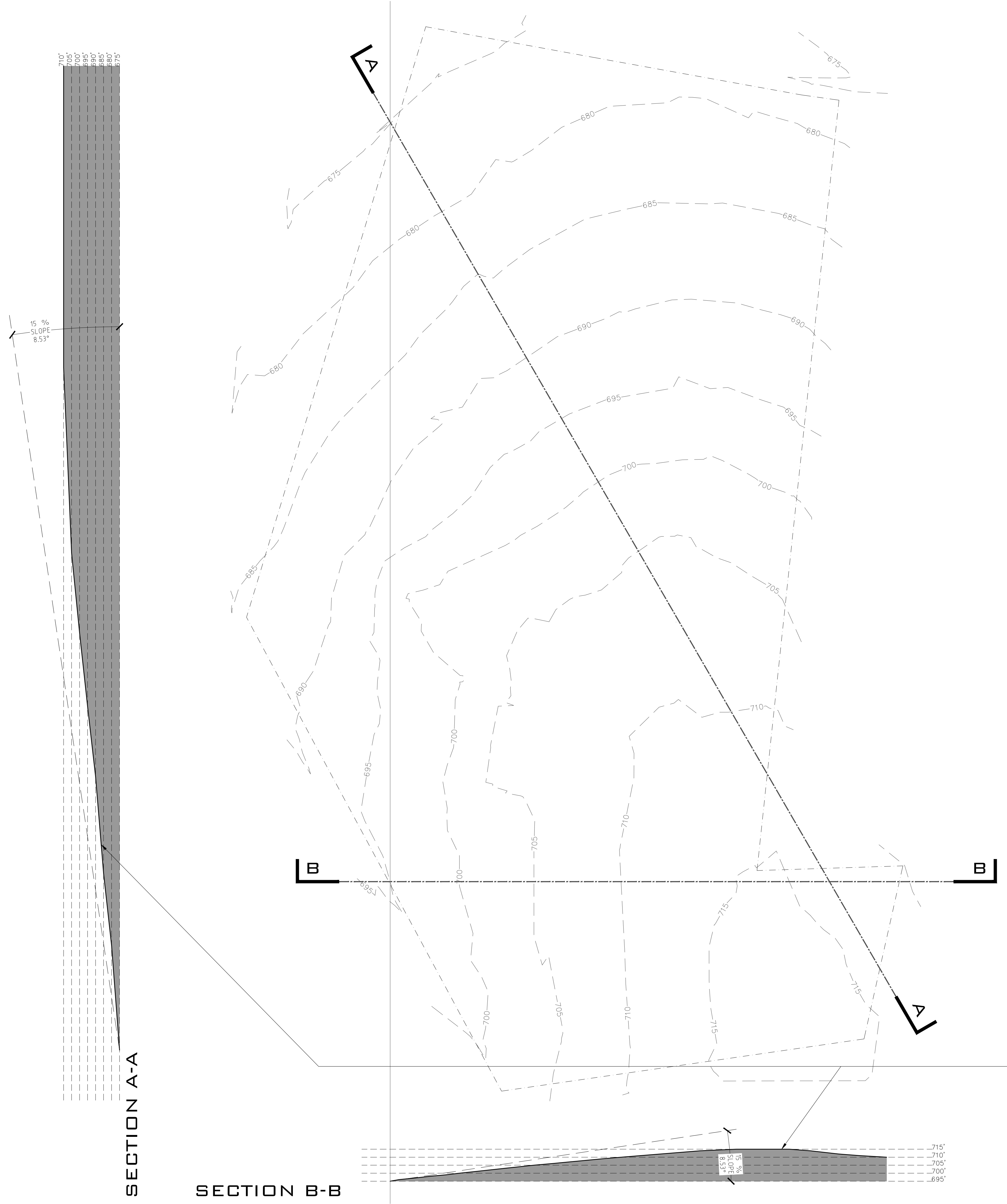
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**CHRISTOPHER DAVIS**  
**KEVIN STEPHENSON**

REGISTERED PROFESSIONAL ARCHITECTS  
STATE OF TENNESSEE  
9.18.23

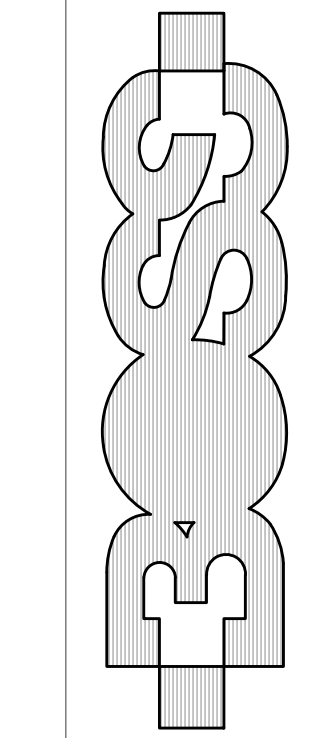
**TREE PLANS**



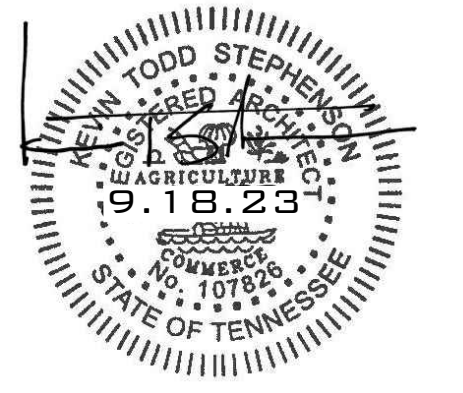


TRANSVERSE SECTIONS TAKEN PERPENDICULAR TO EXISTING CONTOURS. SHOW EXISTING SITE SLOPES ARE LESS THAN 15% GRADE.

**1** EXISTING SITE SLOPE ANALYSIS  
1 : 1/32"  
NORTH



CHRISTOPHER DAVIS  
KEVIN STEPHENSON  
A PROFESSIONAL ARCHITECTURAL FIRM  
PROVIDED WITHOUT THE WRITTEN CONSENT OF BOSS ARCHITECTURE, LLC



OWNER: JOSH AND KATY WHALEN  
LOCATION: 917 TYNE BLVD. NASHVILLE, TN 37220

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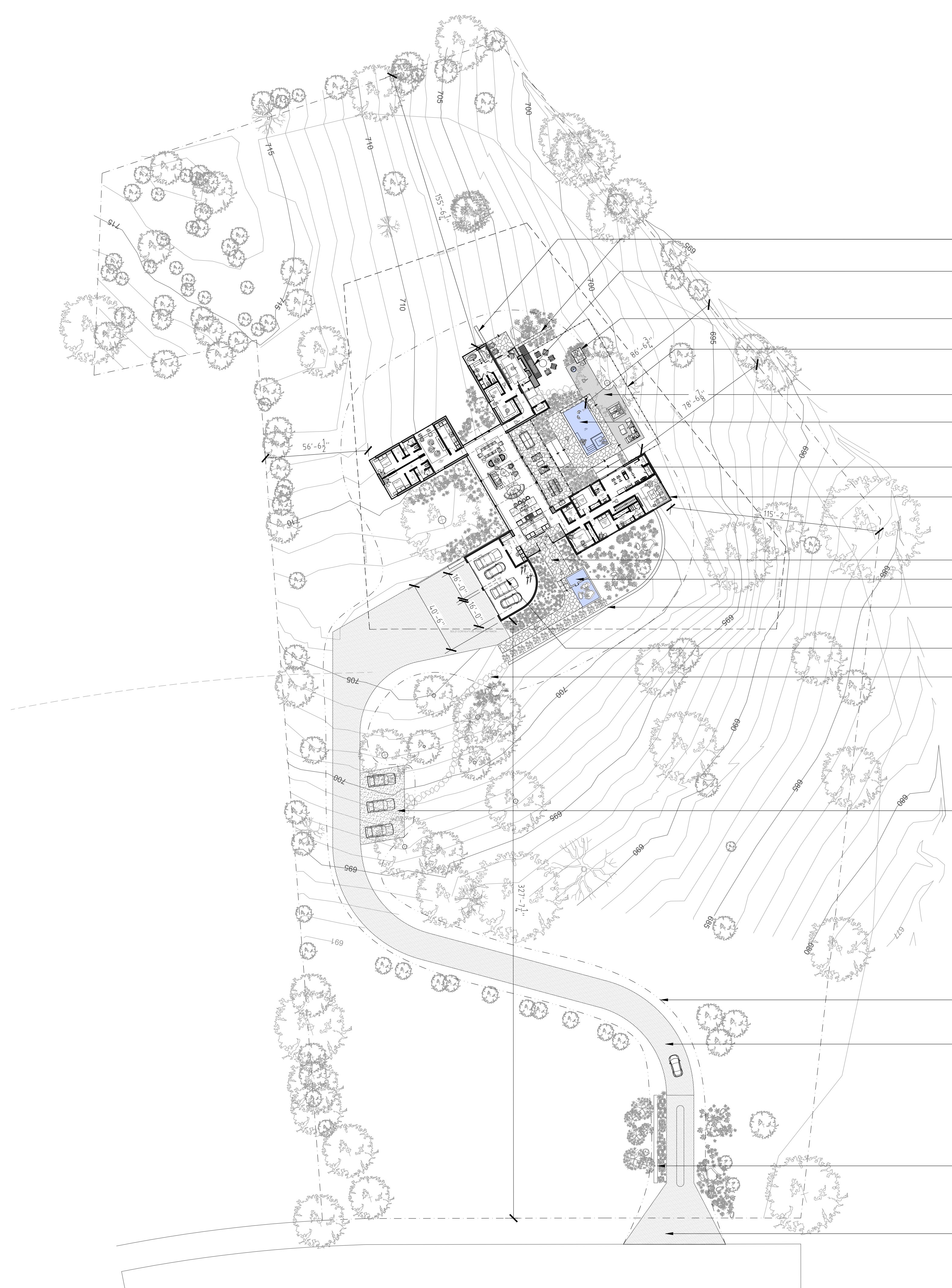
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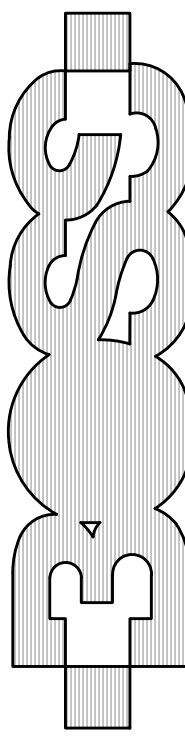
SITE SLOPE





PLANS, SQ. FT.	
MAIN LEVEL:	6,104 SF
SCREENED PORCH:	662 SF
GARAGE:	1,000 SF
BASEMENT UNFINISHED:	509 SF
GRAND TOTAL:	8,275 SF

- PROPOSED CONCRETE RETAINING WALL WITH STONE VENEER 36" MAX HEIGHT
- PROPOSED OUTDOOR FIRE FEATURE LINEAR GAS BURNER
- PROPOSED OUTDOOR BARREL SAUNA
- PROPOSED 4' TALL PAINTED METAL FENCE WITH SWINGING AND LATCHING GATE CREATING A CODE COMPLIANT ENCLOSURE AROUND POOL
- PROPOSED RAISED WOOD DECK 30" MAX ABOVE GRADE
- PROPOSED SWIMMING POOL WITH HOT TUB AND RETRACTABLE AUTOMATIC SAFETY COVER MECH. EQUIPMENT IS LOCATED WITHIN LOWER LEVEL OF HOUSE
- PROPOSED SCREENED IN PORCH
- PROPOSED 2 STORY SINGLE FAMILY RESIDENCE
- PROPOSED ENTRY HARDSCAPE PATH
- PROPOSED ENTRY WATER FEATURE 12" WATER DEPTH
- PROPOSED CONCRETE RETAINING WALL WITH STONE VENEER 4'-6" MAX HEIGHT
- PROPOSED 4 CAR ATTACHED GARAGE
- PROPOSED FLAGSTONE PATHWAY
- PROPOSED GRAVEL PARKING AREA
- THIS LINE INDICATES AREA OF DISTURBANCE TOTALING .9 ACRES
- PROPOSED NEW ASPHALT OR CONCRETE DRIVEWAY
- PROPOSED 4' TALL STONE SITE WALL / ENTRY MONUMENT
- EXISTING DRIVEWAY CURB CUT / APRON LOCATION TO REMAIN



CHRISTOPHER DAVIS  
KEVIN STEPHENSON



OWNER: JDSH AND KATY WHALEN  
LOCATION: 917 TYNE BLVD. NASHVILLE, TN 37220

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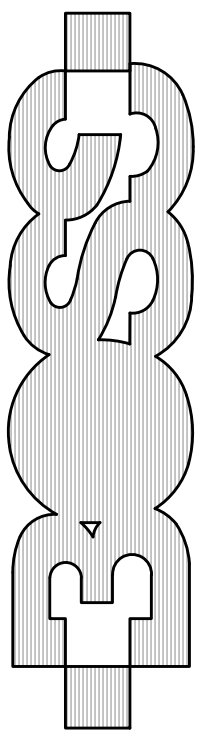
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KEVIN STEPHENSON  
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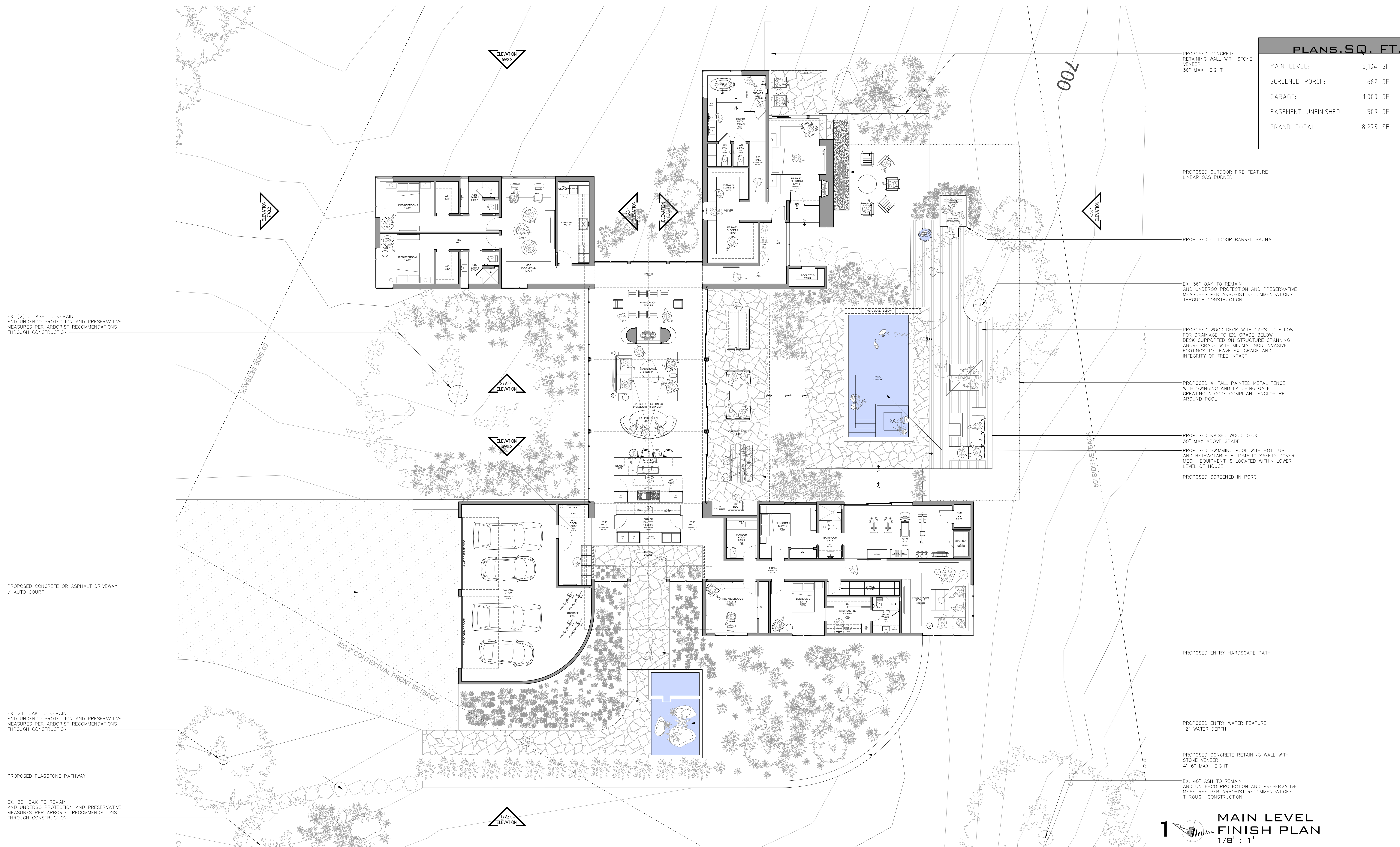
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LOCATION:  
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MAIN LEVEL PLAN  
FINISH PLAN

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PLANS, SQ. FT.	
MAIN LEVEL:	6,104 SF
SCREENED PORCH:	662 SF
GARAGE:	1,000 SF
BASEMENT UNFINISHED:	509 SF
GRAND TOTAL:	8,275 SF



- PROPOSED CONCRETE RETAINING WALL WITH STONE VENEER 36" MAX HEIGHT
- PROPOSED OUTDOOR FIRE FEATURE LINEAR GAS BURNER
- PROPOSED OUTDOOR BARREL SAUNA
- EX. 36" OAK TO REMAIN AND UNDERGO PROTECTION AND PRESERVATIVE MEASURES PER ARBORIST RECOMMENDATIONS THROUGH CONSTRUCTION
- PROPOSED WOOD DECK WITH GAPS TO ALLOW FOR DRAINAGE TO EX. GRADE BELOW. DECK SUPPORTED ON STRUCTURE SPANNING ABOVE GRADE WITH MINIMAL NON INVASIVE FOOTINGS TO LEAVE EX. GRADE AND INTEGRITY OF TREE INTACT
- PROPOSED 4' TALL PAINTED METAL FENCE WITH SWINGING AND LATCHING GATE CREATING A CODE COMPLIANT ENCLOSURE AROUND POOL.
- PROPOSED RAISED WOOD DECK 30" MAX ABOVE GRADE
- PROPOSED SWIMMING POOL WITH HOT TUB AND RETRACTABLE AUTOMATIC SAFETY COVER MECH. EQUIPMENT IS LOCATED WITHIN LOWER LEVEL OF HOUSE
- PROPOSED SCREENED IN PORCH
- PROPOSED ENTRY HARDSCAPE PATH
- PROPOSED ENTRY WATER FEATURE 12" WATER DEPTH
- PROPOSED CONCRETE RETAINING WALL WITH STONE VENEER 4'-6" MAX HEIGHT
- EX. 40" ASH TO REMAIN AND UNDERGO PROTECTION AND PRESERVATIVE MEASURES PER ARBORIST RECOMMENDATIONS THROUGH CONSTRUCTION

EX. (2)50" ASH TO REMAIN AND UNDERGO PROTECTION AND PRESERVATIVE MEASURES PER ARBORIST RECOMMENDATIONS THROUGH CONSTRUCTION

PROPOSED CONCRETE OR ASPHALT DRIVEWAY / AUTO COURT

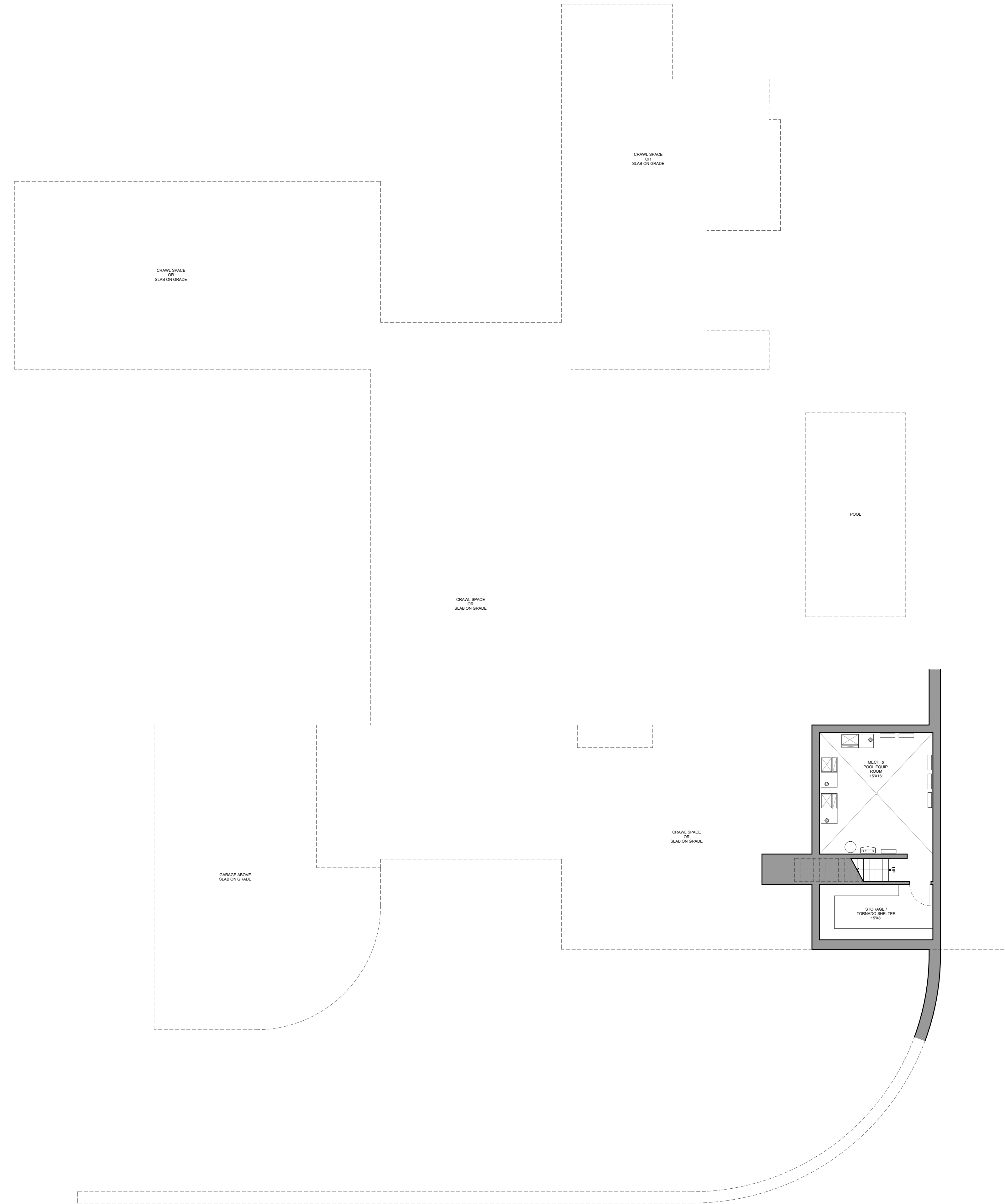
EX. 24" OAK TO REMAIN AND UNDERGO PROTECTION AND PRESERVATIVE MEASURES PER ARBORIST RECOMMENDATIONS THROUGH CONSTRUCTION

PROPOSED FLAGSTONE PATHWAY

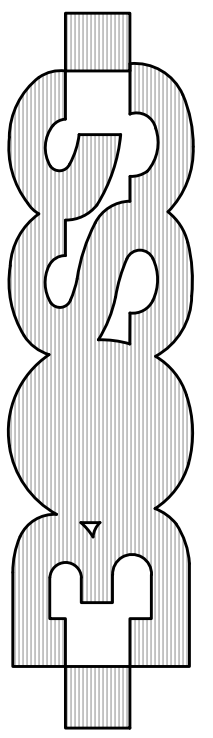
EX. 36" OAK TO REMAIN AND UNDERGO PROTECTION AND PRESERVATIVE MEASURES PER ARBORIST RECOMMENDATIONS THROUGH CONSTRUCTION

1  
MAIN LEVEL FINISH PLAN  
1/8" = 1'

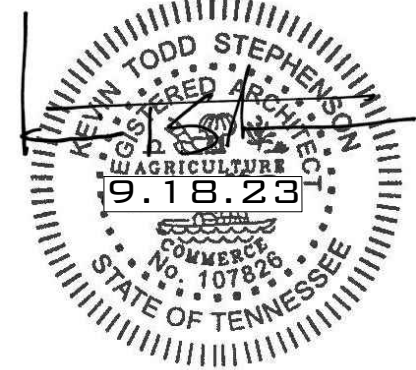




PLANS, SQ. FT.	
MAIN LEVEL:	6,104 SF
SCREENED PORCH:	662 SF
GARAGE:	1,000 SF
BASEMENT UNFINISHED:	509 SF
GRAND TOTAL:	8,275 SF



CHRISTOPHER DAVIS  
KEVIN STEPHENSON



OWNER:  
JDOSH AND KATY WHALEN  
LOCATION:  
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LOWER LEVEL  
FINISH PLAN

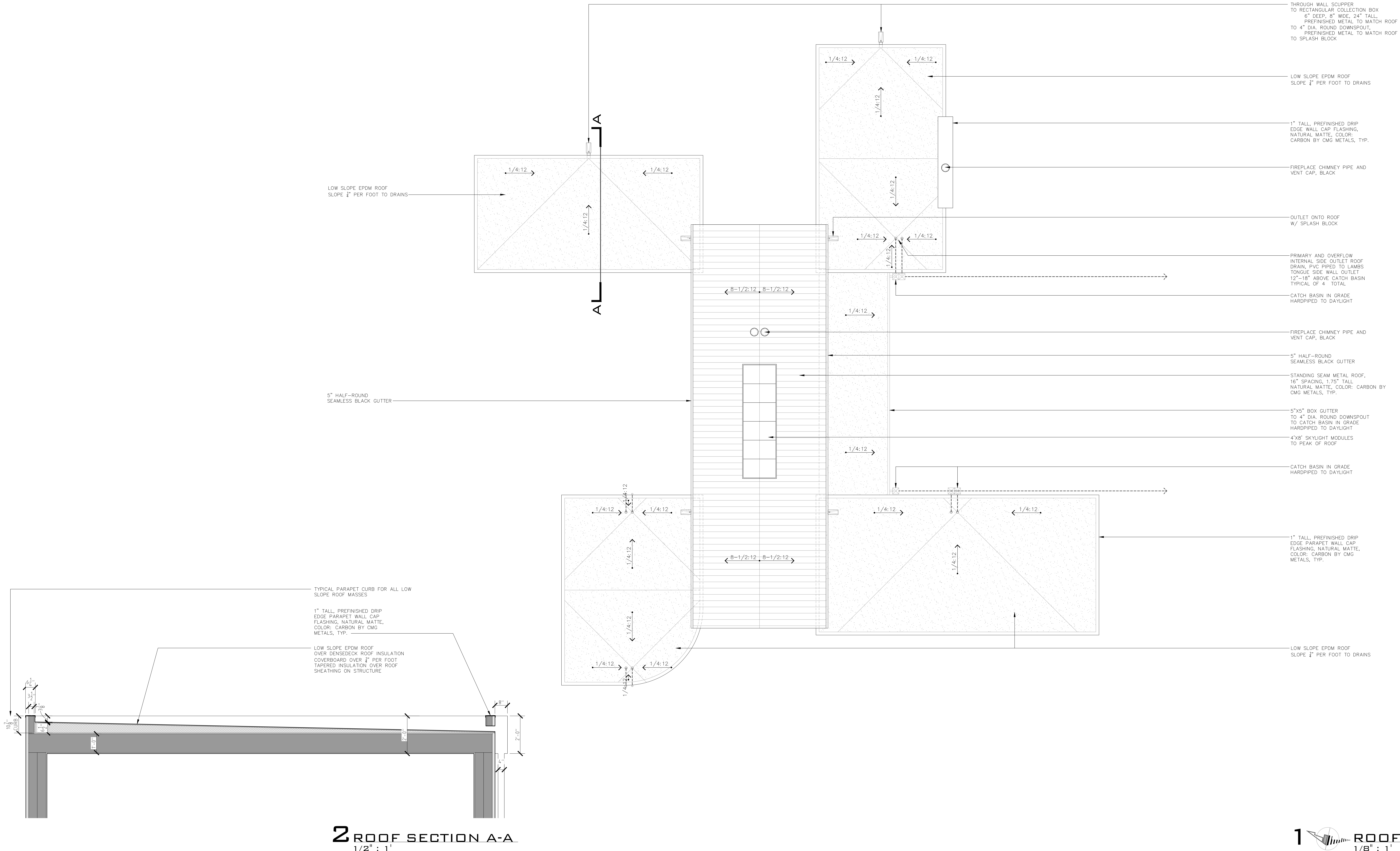
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2.1

1 LOWER LEVEL  
FINISH PLAN  
1/8" = 1'





**2** ROOF SECTION A-A  
1/2" : 1'

**1** ROOF PLAN  
1/8" : 1'

THROUGH WALL SCUPPER  
TO RECTANGULAR COLLECTION BOX  
6" DEEP, 8" WIDE, 24" TALL,  
PREFINISHED METAL TO MATCH ROOF  
TO 4" DIA. ROUND DOWNSPOUT,  
PREFINISHED METAL TO MATCH ROOF  
TO SPLASH BLOCK

LOW SLOPE EPDM ROOF  
SLOPE 1/4" PER FOOT TO DRAINS

1" TALL, PREFINISHED DRIP  
EDGE WALL CAP FLASHING,  
NATURAL MATTE, COLOR:  
CARBON BY CMG METALS, TYP.

FIREPLACE CHIMNEY PIPE AND  
VENT CAP, BLACK

OUTLET ONTO ROOF  
W/ SPLASH BLOCK

PRIMARY AND OVERFLOW  
INTERNAL SIDE OUTLET ROOF  
DRAIN, PVC PIPED TO LAMBS  
TONGUE SIDE WALL OUTLET  
12"-18" ABOVE CATCH BASIN  
TYPICAL OF 4 TOTAL

CATCH BASIN IN GRADE  
HARDPIPED TO DAYLIGHT

FIREPLACE CHIMNEY PIPE AND  
VENT CAP, BLACK

5" HALF-ROUND  
SEAMLESS BLACK GUTTER

STANDING SEAM METAL ROOF,  
16" SPACING, 1.35" TALL  
NATURAL MATTE, COLOR: CARBON BY  
CMG METALS, TYP.

5"x5" BOX GUTTER  
TO 4" DIA. ROUND DOWNSPOUT  
TO CATCH BASIN IN GRADE  
HARDPIPED TO DAYLIGHT

4'x8' SKYLIGHT MODULES  
TO PEAK OF ROOF

CATCH BASIN IN GRADE  
HARDPIPED TO DAYLIGHT

1" TALL, PREFINISHED DRIP  
EDGE PARAPET WALL CAP  
FLASHING, NATURAL MATTE,  
COLOR: CARBON BY CMG  
METALS, TYP.

LOW SLOPE EPDM ROOF  
SLOPE 1/4" PER FOOT TO DRAINS

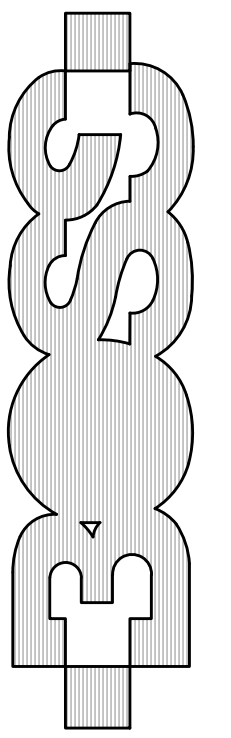
LOW SLOPE EPDM ROOF  
SLOPE 1/4" PER FOOT TO DRAINS

5" HALF-ROUND  
SEAMLESS BLACK GUTTER

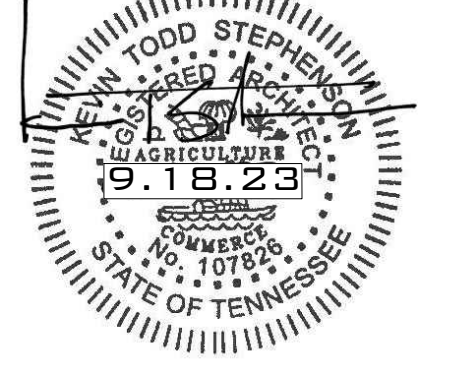
TYPICAL PARAPET CURB FOR ALL LOW  
SLOPE ROOF MASSES

1" TALL, PREFINISHED DRIP  
EDGE PARAPET WALL CAP  
FLASHING, NATURAL MATTE,  
COLOR: CARBON BY CMG  
METALS, TYP.

LOW SLOPE EPDM ROOF  
OVER DENSEDECK ROOF INSULATION  
COVERBOARD OVER 1" PER FOOT  
TAPERED INSULATION OVER ROOF  
SHEATHING ON STRUCTURE



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KEVIN STEPHENSON  
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JDOSH AND KATY WHALEN  
LOCATION:  
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NASHVILLE, TN 37220

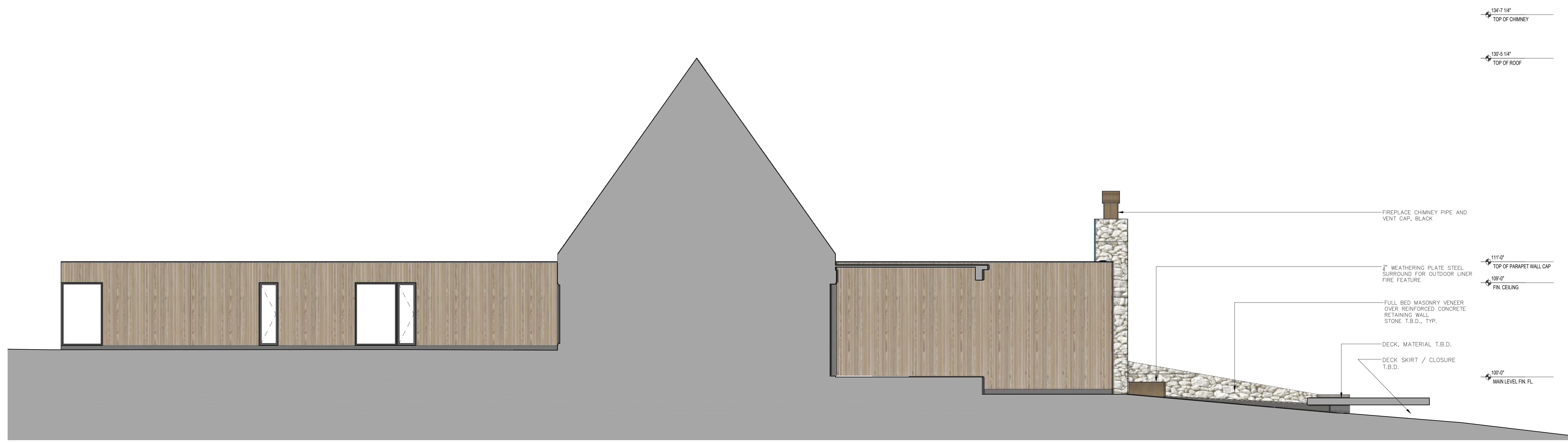
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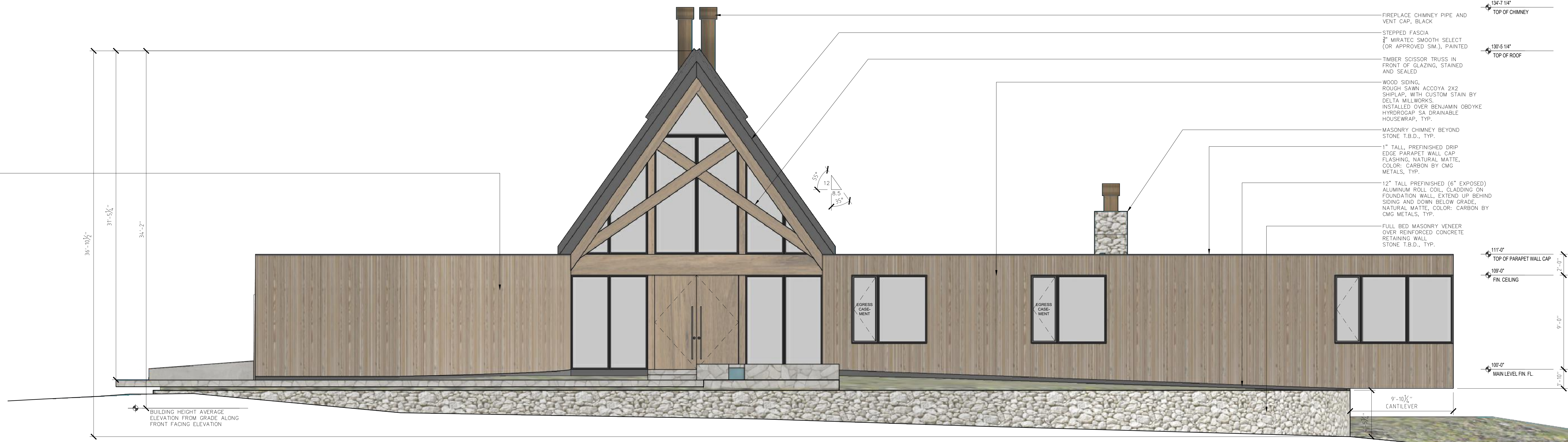
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ROOF PLAN

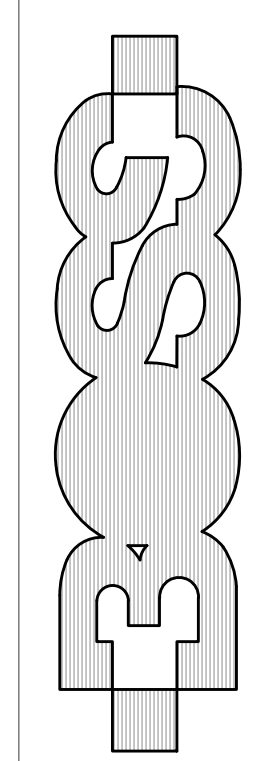




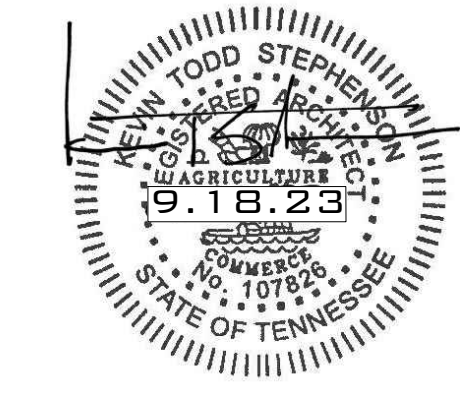
**2 NORTH ELEVATION**  
1/4" : 1'



**1 NORTH ELEVATION**  
1/4" : 1'



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KEVIN STEPHENSON



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EXTERIOR ELEVATIONS



RADIUSED WALL AT GARAGE



134'-7 1/4"  
TOP OF CHIMNEY

130'-5 1/4"  
TOP OF ROOF

111'-0"  
TOP OF PARAPET WALL CAP

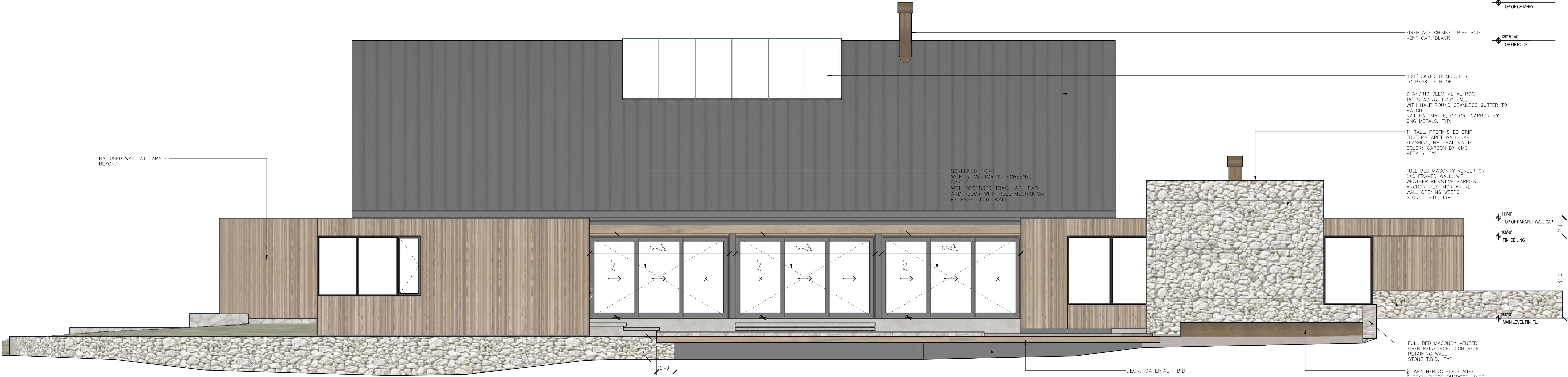
109'-0"  
FIN. CEILING

100'-0"  
MAIN LEVEL FIN. FL.

### 4 WEST ELEVATION

1/4" : 1'

RADIUSED WALL AT GARAGE BEYOND



134'-7 1/4"  
TOP OF CHIMNEY

130'-5 1/4"  
TOP OF ROOF

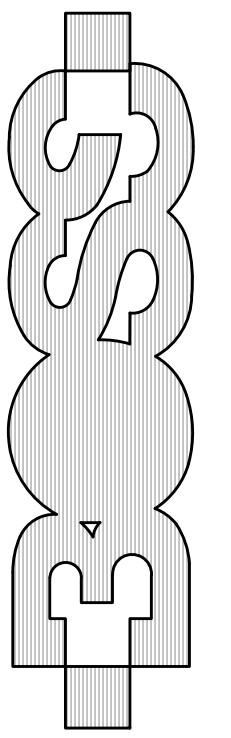
111'-0"  
TOP OF PARAPET WALL CAP

109'-0"  
FIN. CEILING

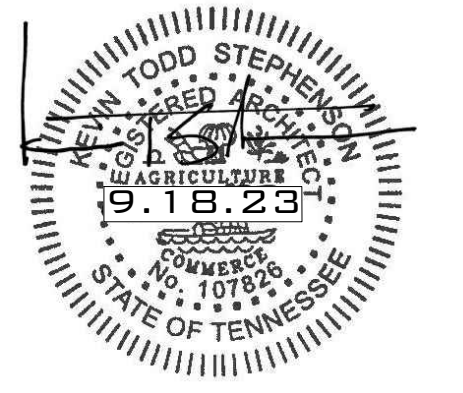
100'-0"  
MAIN LEVEL FIN. FL.

### 3 WEST ELEVATION

1/4" : 1'



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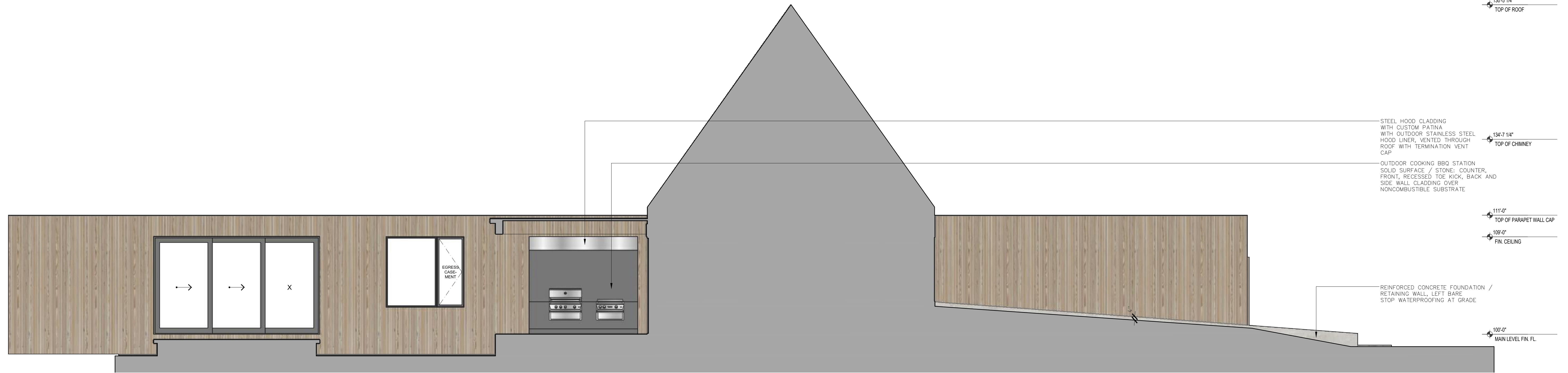
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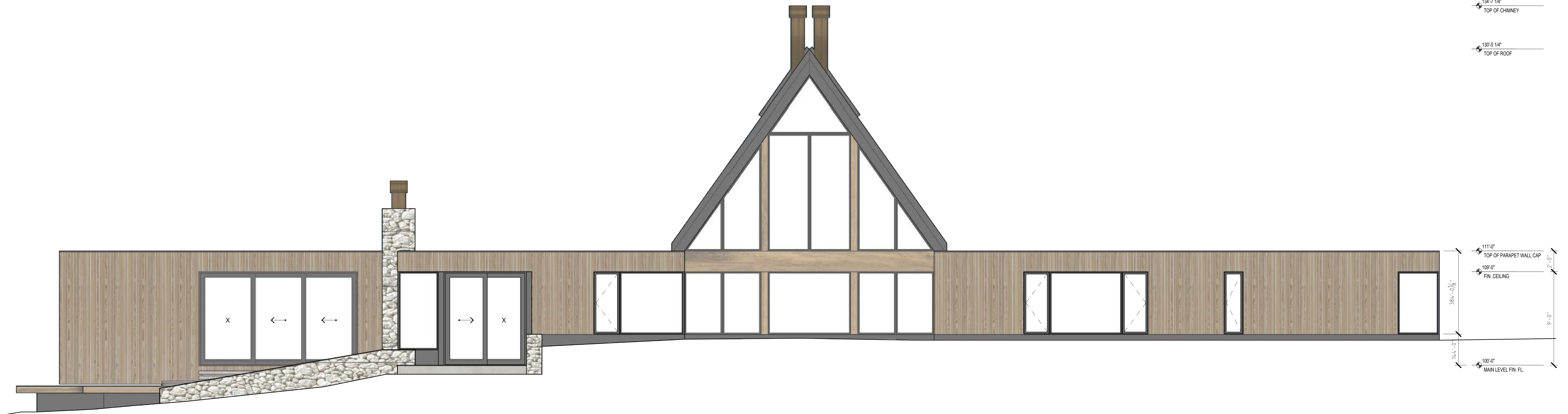
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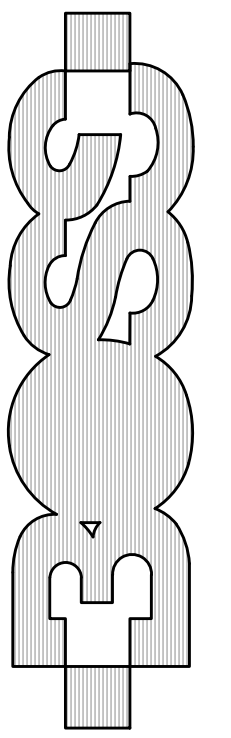




**6 SOUTH ELEVATION**  
1/4" : 1'



**5 SOUTH ELEVATION**  
1/4" : 1'



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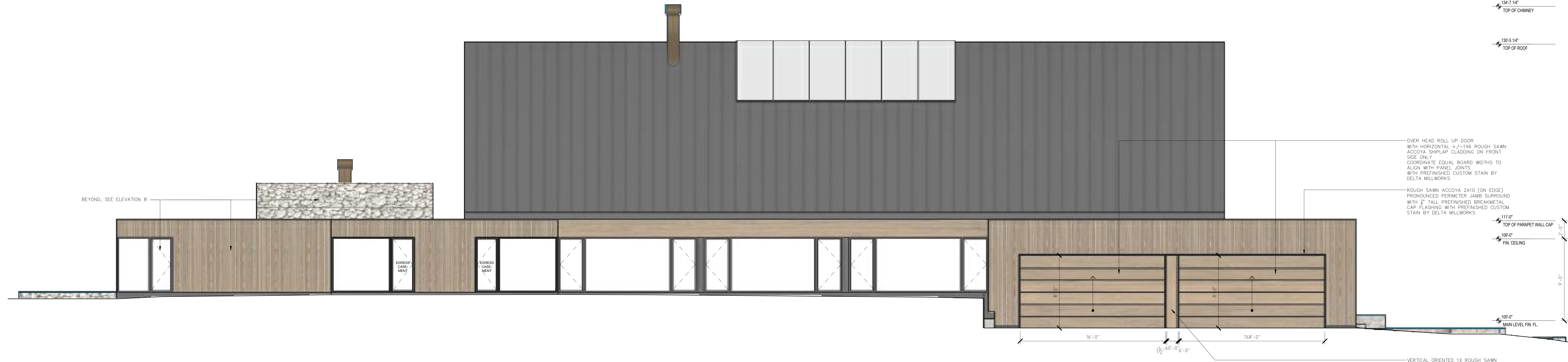
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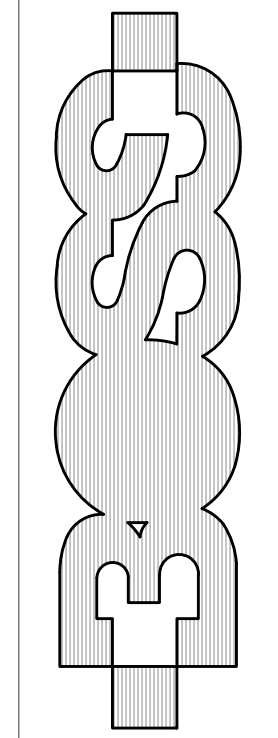




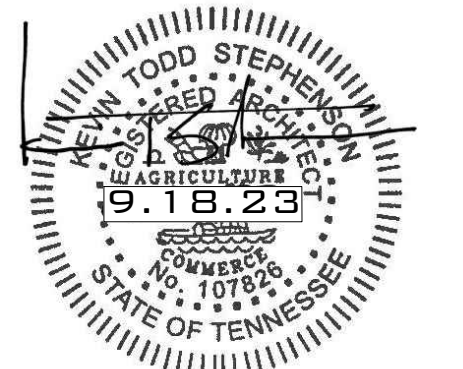
**8 EAST ELEVATION**  
1/4" : 1'



**7 EAST ELEVATION**  
1/4" : 1'



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